

APOLLO FABRICATION GROUP Pty Ltd

WORKSHOP AND OFFICE BUILDING REMODELING

10-12 Telegraph road, Young



PROJECT INFO

ADDRESS:
AT LOT 3 and LOT 4 DP845187

Telegraph road,
YOUNG, NSW, 2954

OWNER:
APOLLO FABRICATION GROUP Pty Ltd

CONSTRUCTION INFORMATION

USE:
WORKSHOP AND OFFICE BUILDING
RENOVATION AND ADDITION

HEIGHT:
TWO STORY WORKSHOP
THREE STORY OFFICE BUILDING

RIDGE H=13,500 m

APPLICABLE CODES

- Building Code of Australia

BUILDING AREA

- Lot size:
2231.1 m² + 2481.4 m² = 4712.5 m²
- Existing area:
 - Workshop 1 650 m²
 - Workshop 2 1191 m²
 - Workshop 3 885 m²
 - Workshop 4 720 m²
 - Office Building 223x3= 669 m²
 - Total: 4115 m²

- Proposed percentage of floor area on the lot:
87,32 %

GENERAL NOTES:

1.IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING OR SPECIFICATIONS IN THIS PACKAGE NOTIFY THE ARCHITECT, IMMEDIATELY.

2.THE ARCHITECT, IS NOT RESPONSIBLE OR DO NOT HAVE CONTROL OR CHARGE OVER ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING WORK ON THE PROJECT.

3.THE ARCHITECT, HAS NOT BEEN RETAINED FOR REVIEW, SUPERVISION OR ADMINISTRATION OF THE CONTRACT OR THE CERTIFICATION OF PAYMENTS. CONSTRUCTION COORDINATOR SHALL BE OWNER'S REPRESENTATIVE DURING CONSTRUCTION & UNTIL FINAL PAYMENT HAS BEEN MADE. THE OWNER'S REPRESENTATIVE WILL REVIEW THE PROJECT & RENDER NECESSARY DECISIONS FOR THE PROGRESS OF THE WORK.

4.CONTRACTOR IS RESPONSIBLE TO SEE IF THE WORK IN THE FIELD IS DONE IN ACCORDANCE WITH ALL THE CURRENT APPLICABLE CODES, ORDINANCES & REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES, ORDINANCES, REQUIREMENTS, ETC.. ARE SPECIFICALLY SHOWN ON DRAWINGS AND/OR CALLED FOR IN SPECIFICATIONS.

5.CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS & FACILITIES TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE AT CONTRACTORS EXPENSE, ANY EXISTING ITEMS AND FACILITIES TO REMAIN THAT ARE DAMAGED BY CONTRACTOR'S OPERATIONS, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

6.GENERAL CONTRACTOR SHALL COORDINATE THE DELIVERY OF ALL OWNER SUPPLIED EQUIPMENT. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION OF EQUIPMENT AT TIME OF DELIVERY AND SHALL NOTIFY EQUIPMENT SUPPLIER OF ANY DEFICIENCIES OR DAMAGED EQUIPMENT AND ARRANGE FOR REPLACEMENT.

7.CONTRACTOR SHALL COMPLY WITH ALL PERTINENT LAWS, CODES, REGULATIONS, GOVERNING AGENCIES & MANUFACTURER SPECIFICATIONS, UNLESS GREATER REQUIREMENTS ARE INDICATED, OR ARE NECESSARY FOR SAFE WORKING CONDITIONS.

8.THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING JURISDICTIONS AS REQUIRED FOR INSPECTIONS AND SHALL PAY INSPECTION FEES ASSOCIATED WITH THE WORK.

9.THE OWNER OR GENERAL CONTRACTOR SHALL APPLY, PAY FOR, AND OBTAIN ALL OTHER NECESSARY PERMITS.

10. THE GENERAL CONTRACTOR SHALL PROVIDE BARRICADES AND SAFETY SIGNS PER REQUIREMENTS.

11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROVISION OF A DEBRIS BOX AT REGULAR SERVICING, REMOVAL OF ALL CONTRACTOR/SUBCONTRACTOR REFUSE AND DEBRIS, AND SWEEPING OF ENTIRE YARD AREA AT THE COMPLETION OF WORK.

12. ALL PROCEDURES, TESTING, MATERIALS, SHOWN ON THE PLANS SHALL BE FURNISHED & INSTALLED BY THE GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE IN THESE PLANS. EQUIPMENT OR MATERIAL NOTED ONLY AS "FURNISHED BY OTHERS" SHALL BE INSTALLED BY THE GENERAL CONTRACTOR.

SHEET	SHEET TITLE	DATE
A 1.0	STANDARD SPECIFICATION	10.05.2021
A 1.1	SITE PLAN- 2-20 TELEGRAPH ROAD	10.05.2021
A 1.2	SITE PLAN- 10-12 TELEGRAPH ROAD	10.05.2021
A 1.3	FLOOR PLAN- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.4	FLOOR PLAN- OFFICE BUILDING	10.05.2021
A 1.5	FLOOR PLAN- OFFICE BUILDING	10.05.2021
A 1.6	ROOF PLAN- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.7	SECTIONS- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.8	SECTION- OFFICE BUILDING	10.05.2021
A 1.9	ELEVATIONS- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.10	ELEVATIONS- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.11	RENDERINGS	10.05.2021

ISSUE	DATE	REASON FOR REVISION	APOLLO FABRICATION GROUP Pty Ltd			Job Number:	©
-	-	-	Project:			No. in Set:	
-	-	-	Workshop and Office building remodeling 10 - 12 Telegraph road, Young			1	
-	-	-	Drawing:			Scale: N/A	
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-	-	-				Drawn: MG	

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7 ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8 SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9 PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2 COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PNEUFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

3.1 CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUCTURAL
ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS

3.2 ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE
STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.

3.3 SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON
APPROVED CHAIRS TO IMPROVE CRACK CONTROL.

3.4 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.

3.5 PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT
RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED
AND BRANDED BY THE MANUFACTURER.

PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.

BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

4.1 BRICK WORK SHALL COMPLY WITH :
AS 3700 MASONRY CODE
AS A123 MASONRY CODE
MORTAR FOR MASONRY CONSTRUCTION

4.2 BRICK GAUGE 7 STANDARD COURSES = 600mm.

4.3 ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa
AND AS FOLLOWS:
EXTERNAL FACE WORK: 230x110x76mm
INTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE
WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS
WINDOW HEADS: SOLID FACEBRICK COURSE
INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE
WITH BED JOINT AND PERPENDS FILLED
305x76x90mm LONGREACH OR JUMBO FOR
COURSE ADJUSTMENT

4.4 MORTAR: 1:1:6 CEMENT:LIME:SAND
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED

4. TIES SHALL BE 3mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.
- 4.6. KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7. FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8. PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9. SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.
- 4.10. MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11. PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12. WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13. BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:
-WHEREVER SHOWN ON DRAWINGS.
-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)
-OVER LINTELS TO EXPOSED OPENINGS:
FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.
-OVER ROOF:
FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.
-DOOR / WINDOW STILES:
FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:
VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES:
CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.
-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE.

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

5.1 ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.

5.2 REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.


5.3 SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

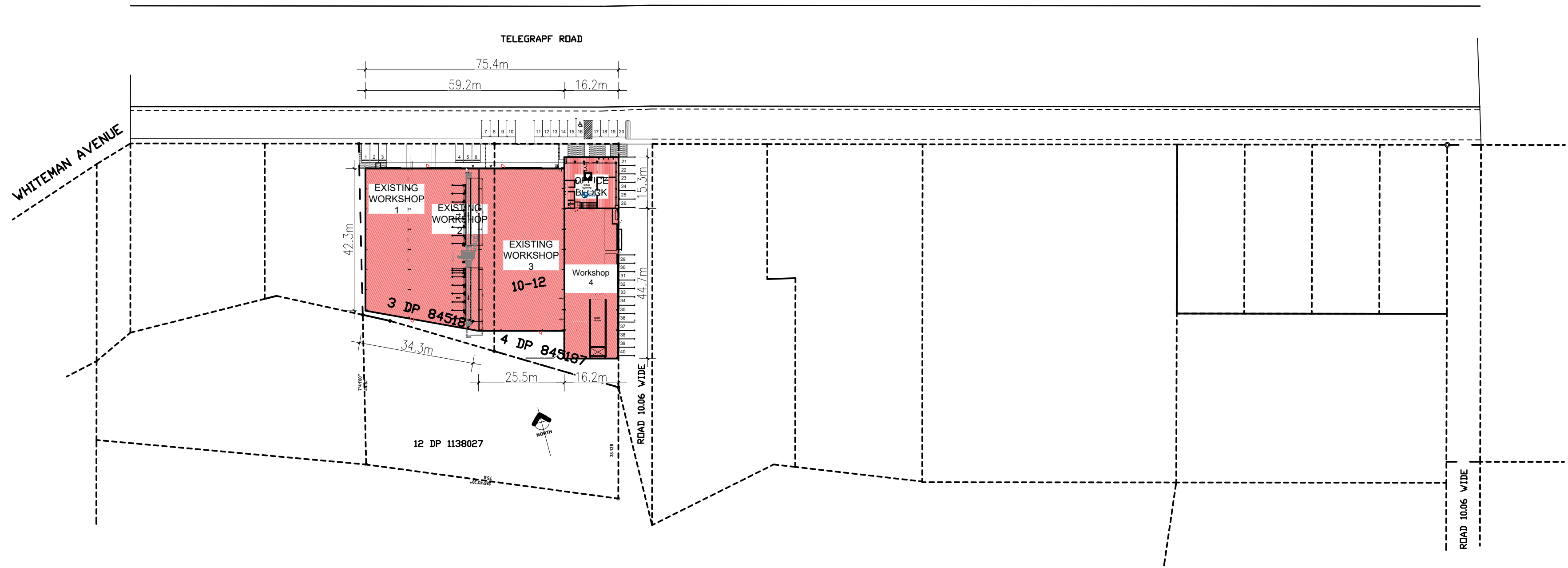
6.1 ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
6.2 WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH
POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL
WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE
AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
6.3 CLOTHES HOIST: REFER TO ADDENDUM.

7.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES

7.2 GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.

- 14.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2 SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS
- 14.3 CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4 PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK. GENERALLY, TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6 PAVING PATTERN: REFER TO ADDENDUM.
- 14.7 BRICK PAVERS SHALL BE:
- TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
- PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

ISSUE	DATE	REASON FOR REVISION	<div></div> <div>UNIQUE CAD EXPERIENCE</div>	Client:	APOLLO FABRICATION GROUP Pty Ltd		Job Number:		<div>©</div> <div>A2</div>		
-	-	-		Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young		No. in Set:	2		Sheet No.:	A 1.0
-	-	-		Drawing:	SPECIFICATION		Scale:	N/A		Revision No.:	
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1 SITE PLAN
SCALE= 1:1000

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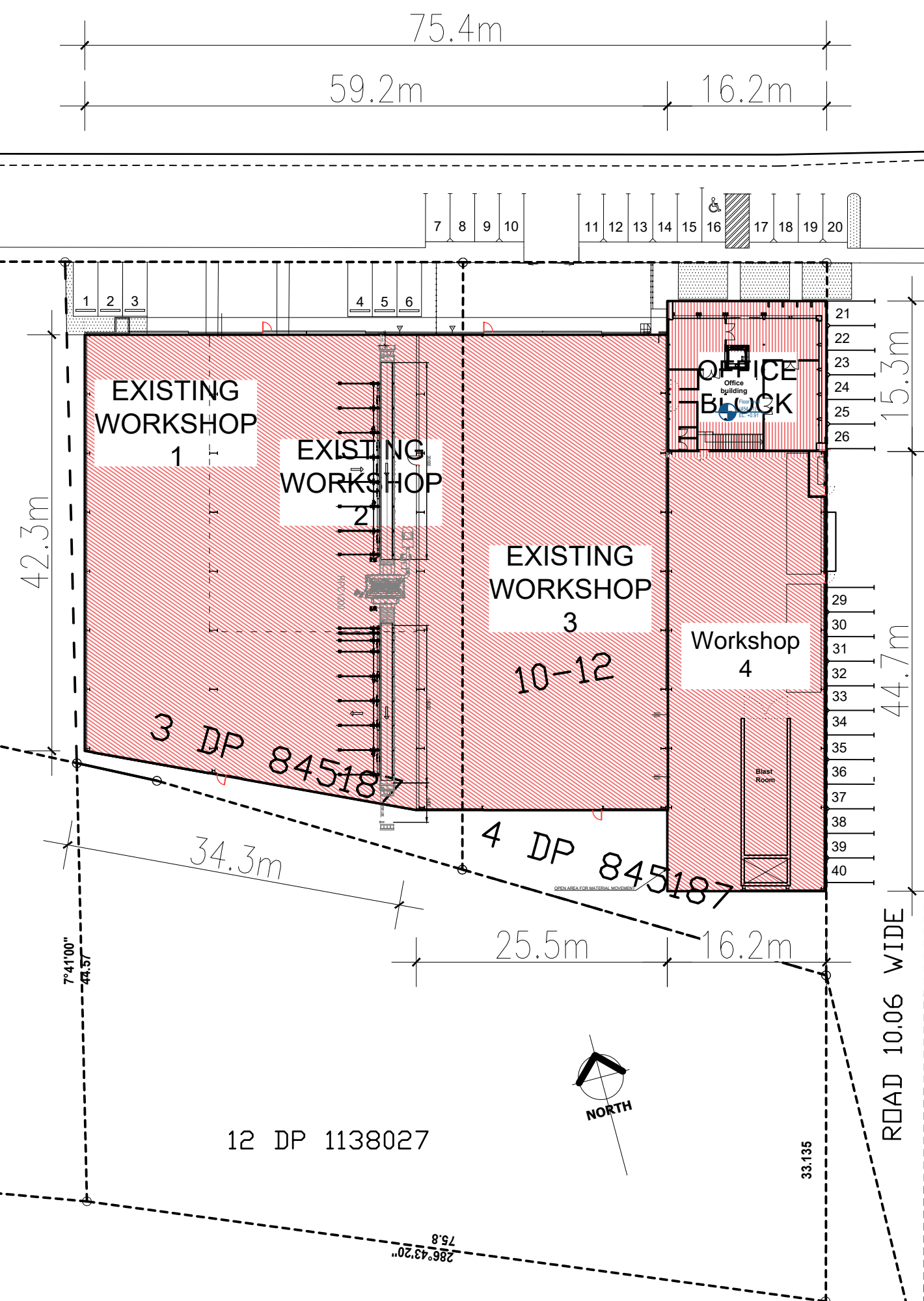
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Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young	
Drawing:	Site Plan- 2-20 Telegraph Road	

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WHITEMAN AVENUE

TELEGRAPH ROAD



1 SITE PLAN
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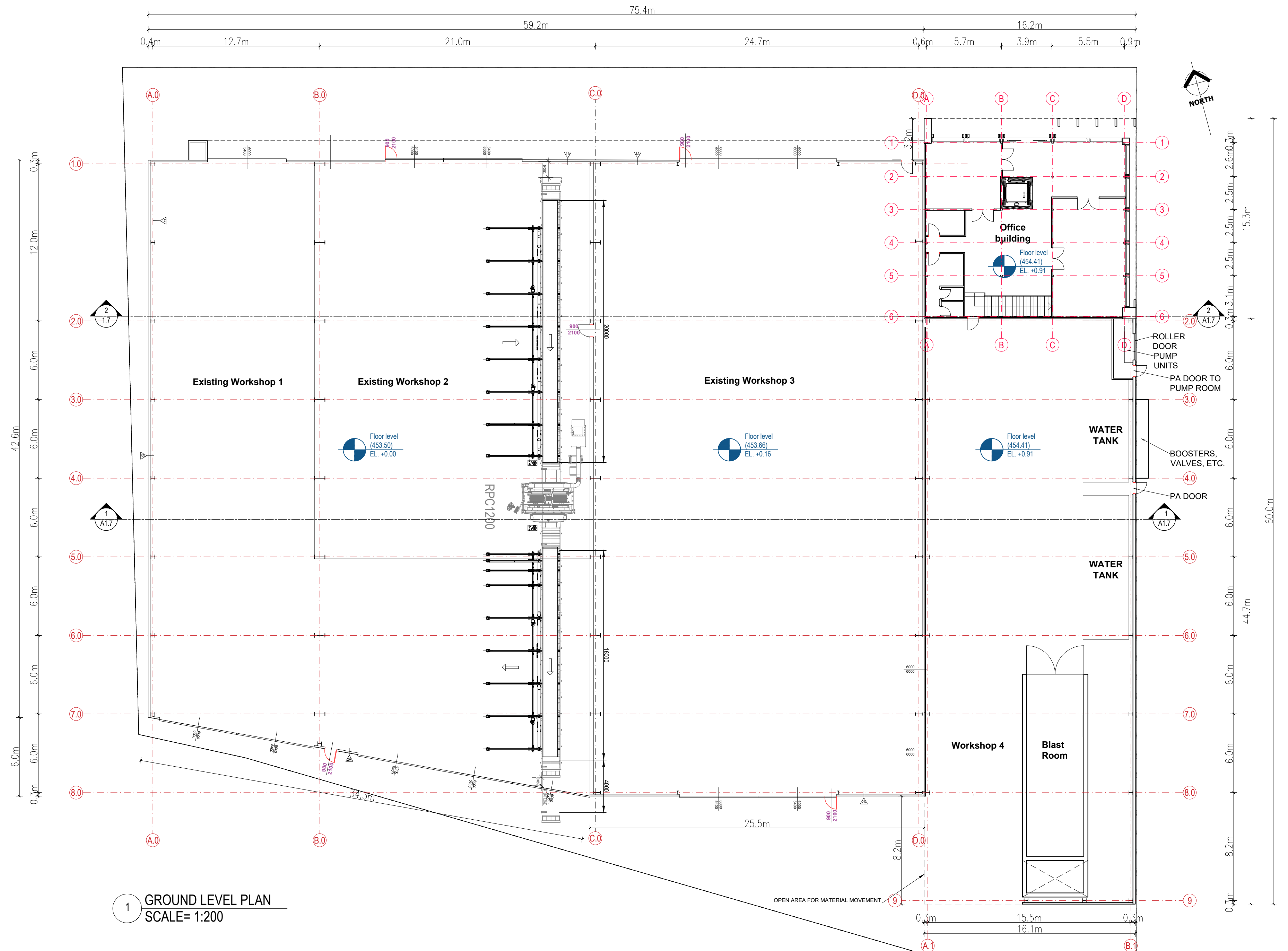


Client:	APOLLO FABRICATION GROUP Pty Ltd
Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young
Drawing:	Site Plan- 10-12 Telegraph Road

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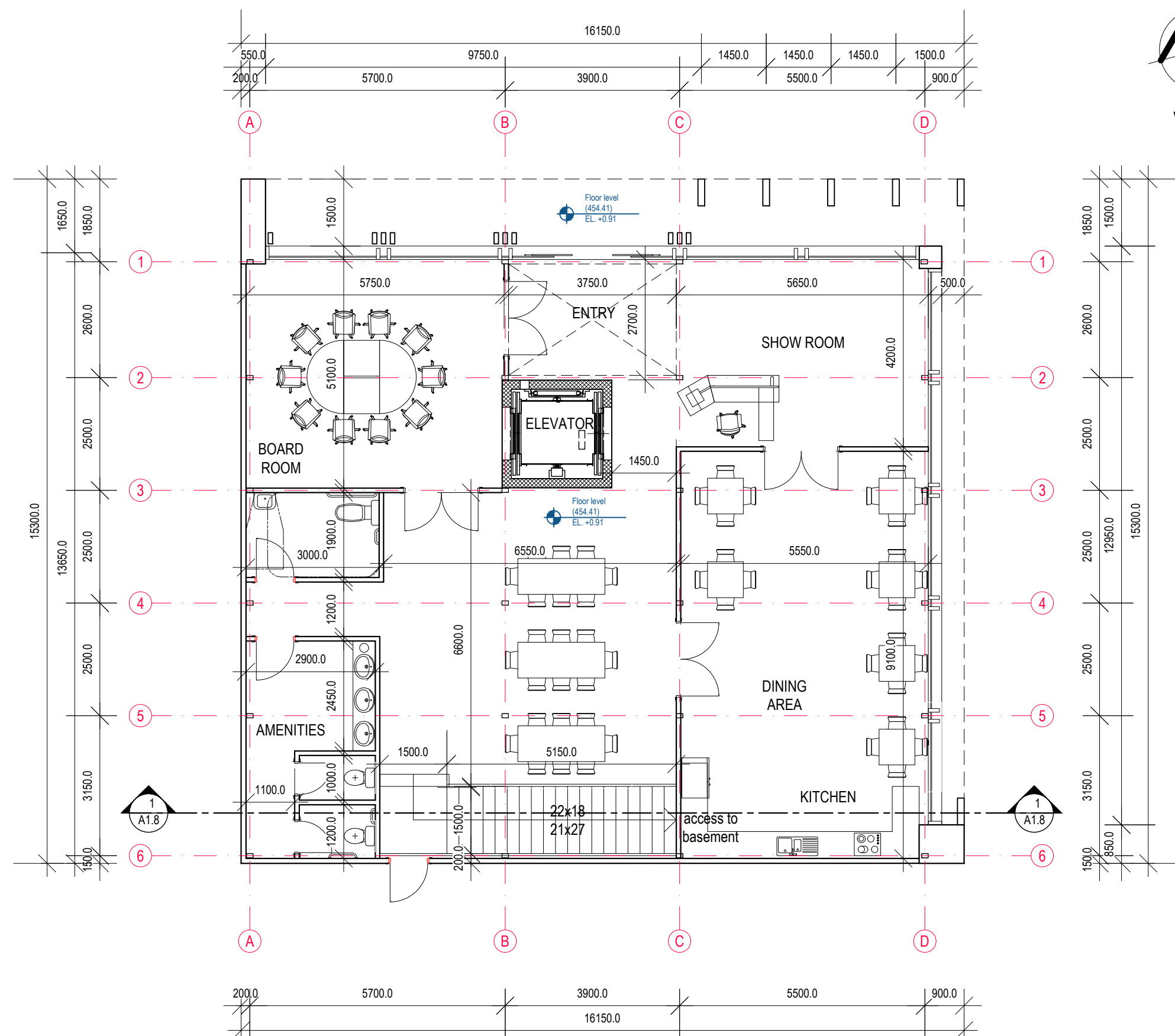


Client:	APOLLO FABRICATION GROUP Pty Ltd
Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young
Drawing:	PROPOSED FLOOR PLAN

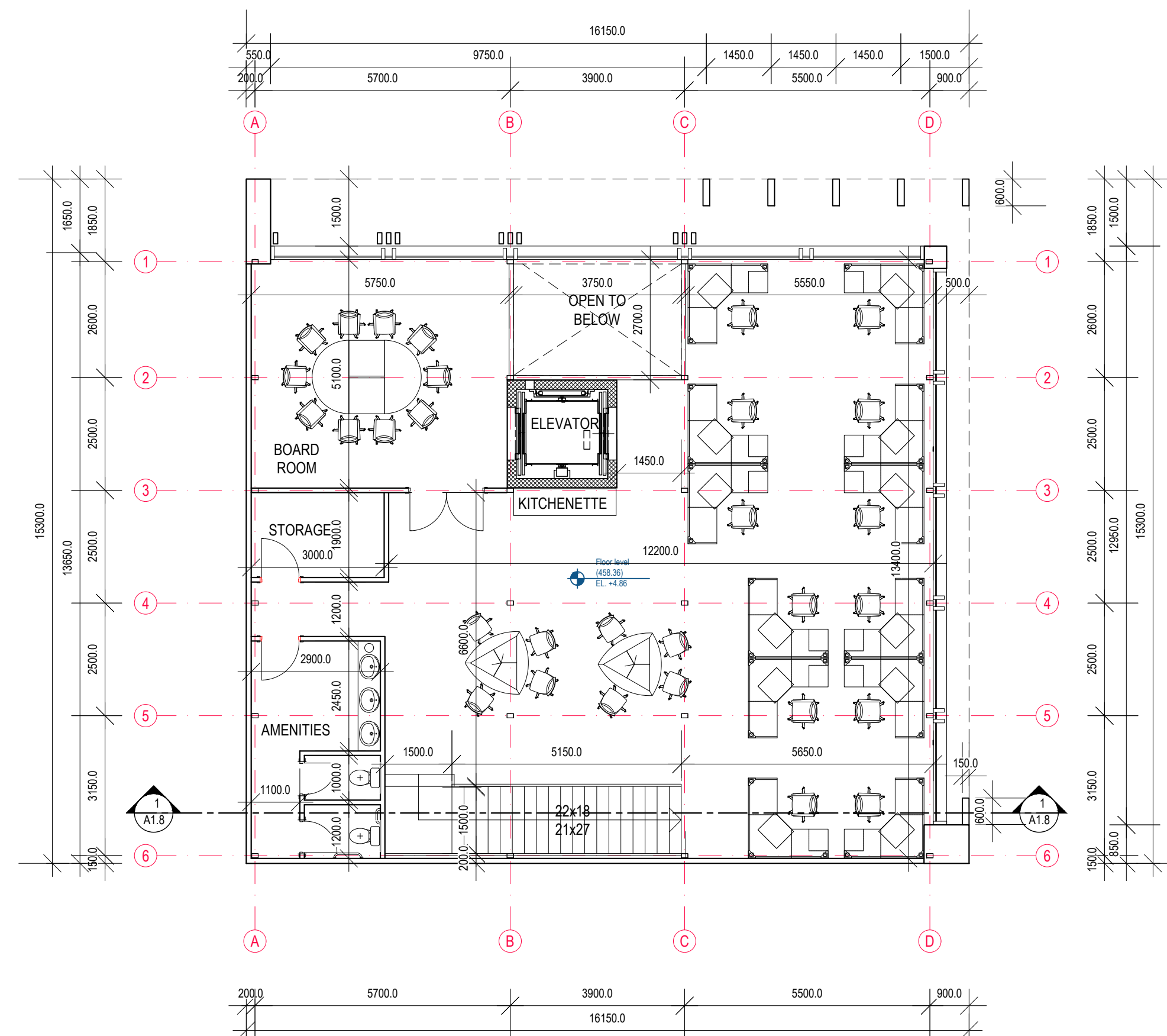
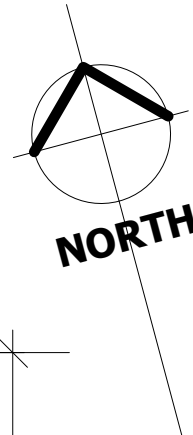
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1 GROUND LEVEL PLAN
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2 SECOND LEVEL PLAN
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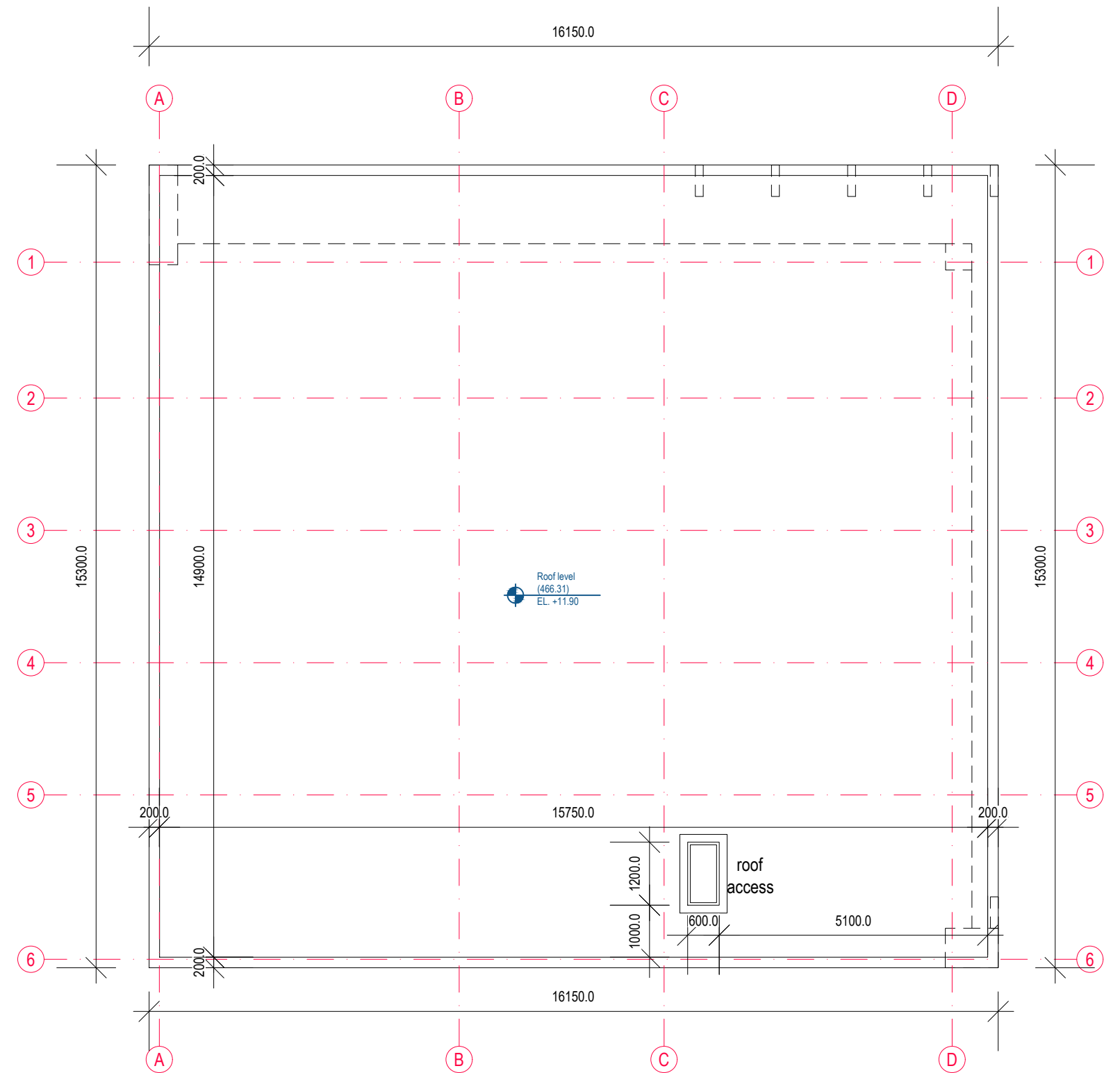
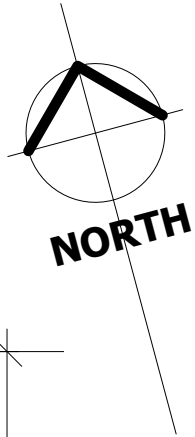
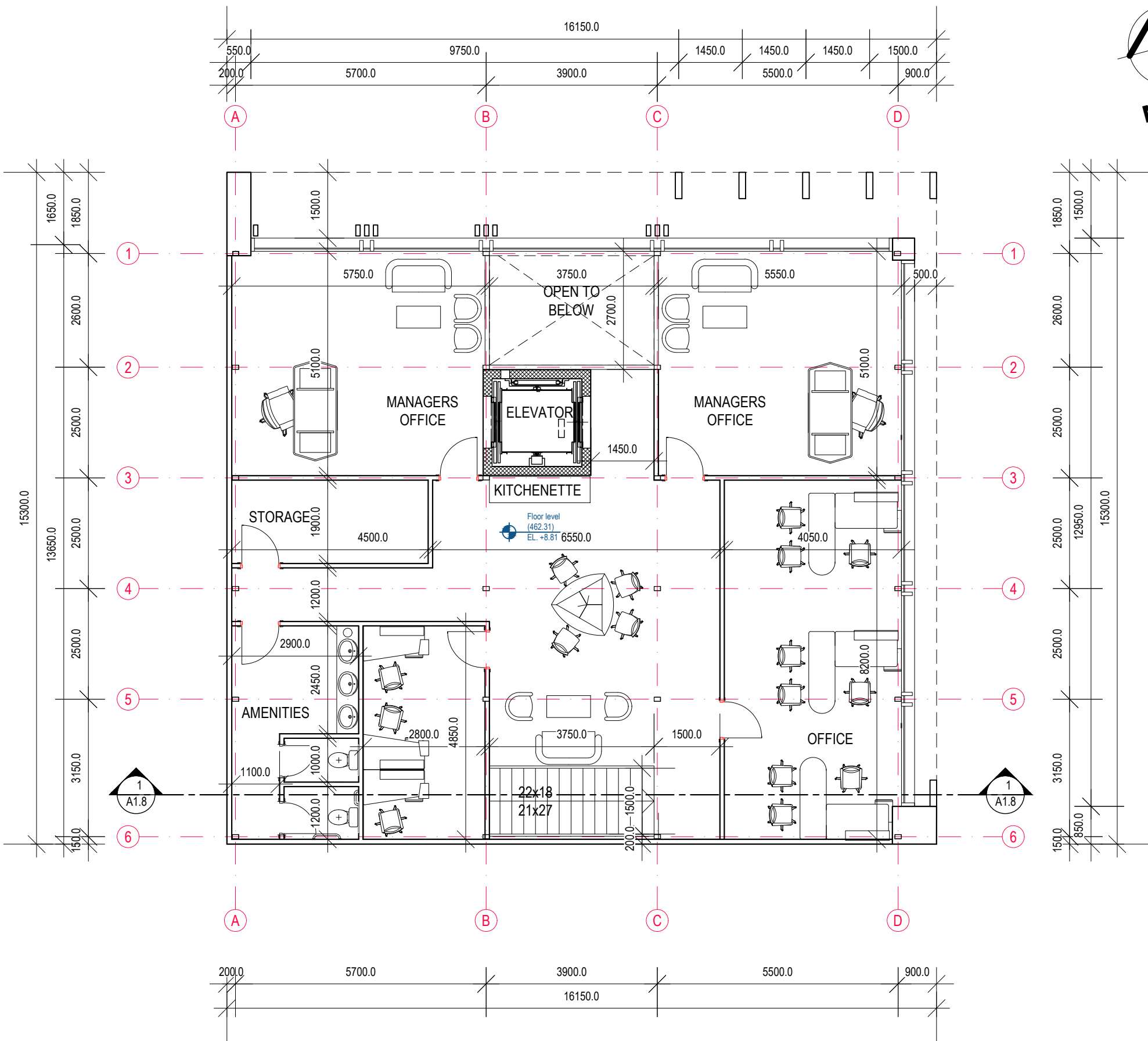


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Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young
Drawing:	PROPOSED FLOOR PLAN

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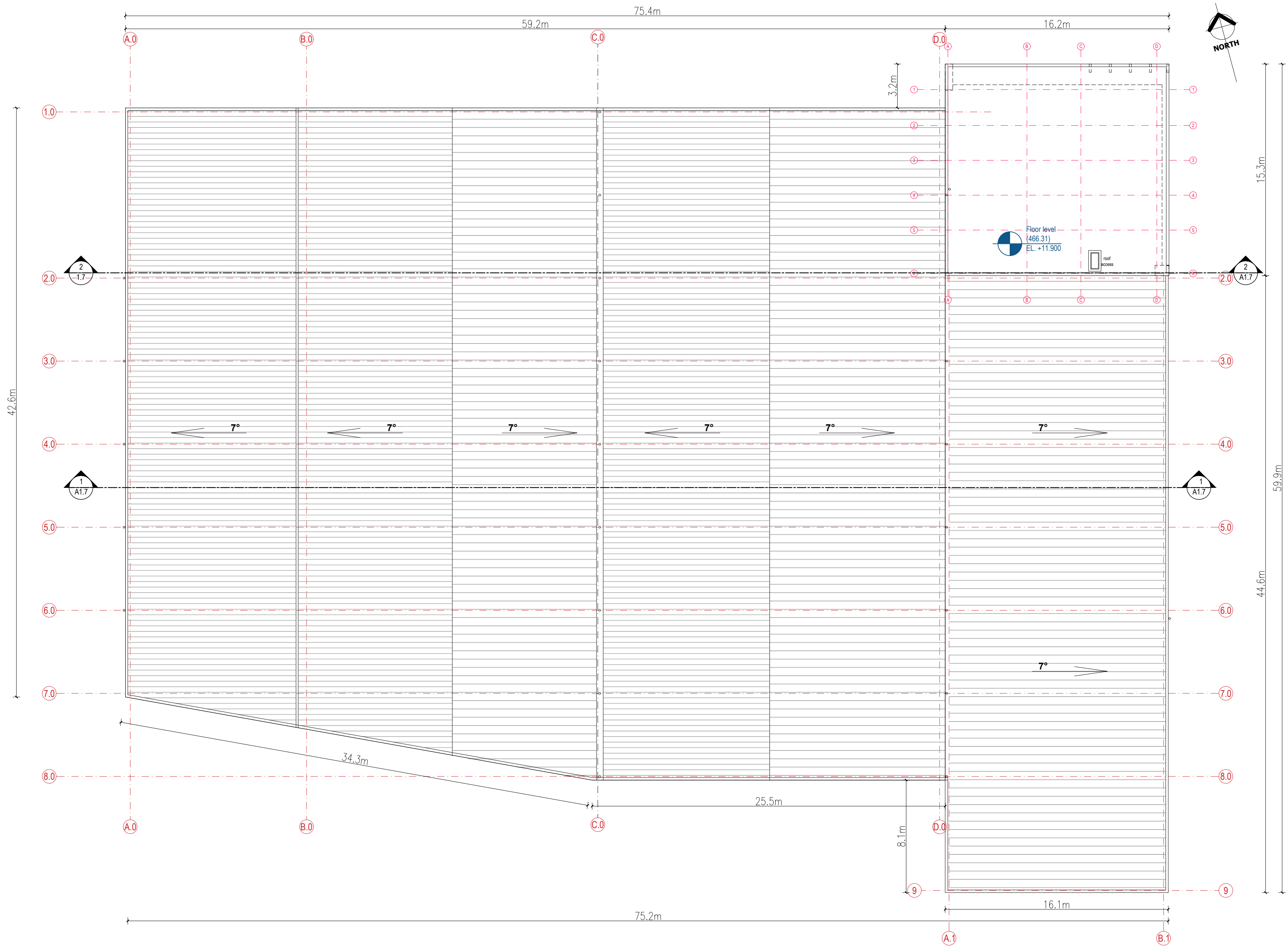


Client:	APOLLO FABRICATION GROUP Pty Ltd
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Drawing:	PROPOSED FLOOR PLAN

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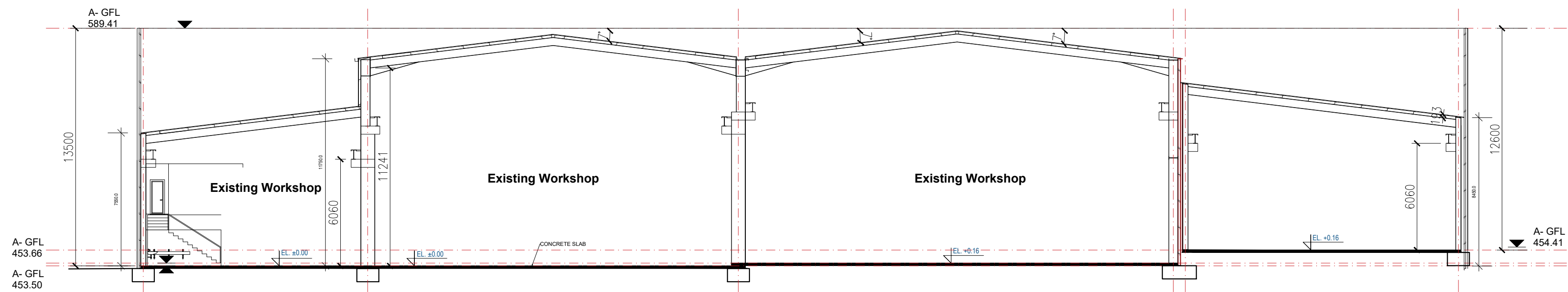
1 ROOF PLAN
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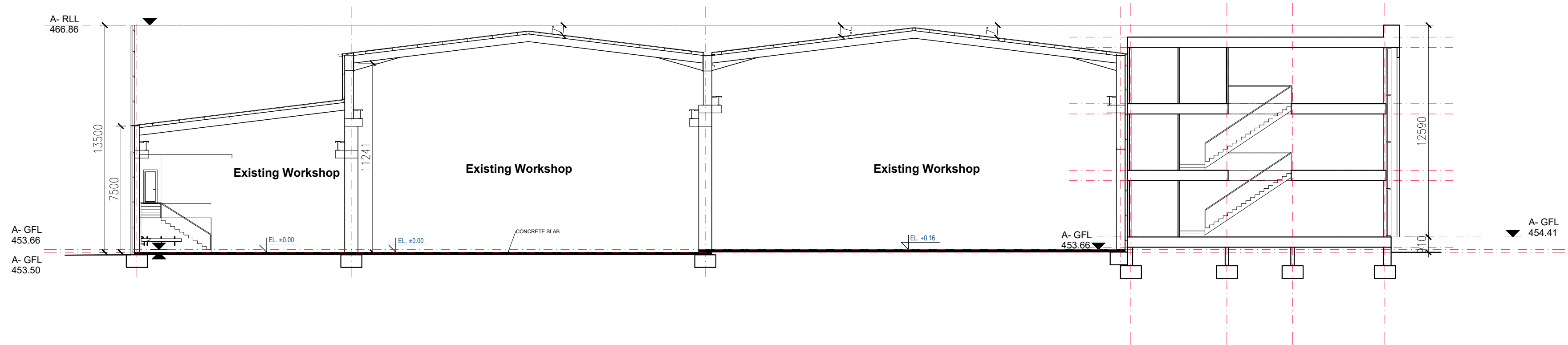


Client:	APOLLO FABRICATION GROUP Pty Ltd
Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young
Drawing:	PROPOSED ROOF PLAN

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1 SECTION 1
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2 SECTION 2
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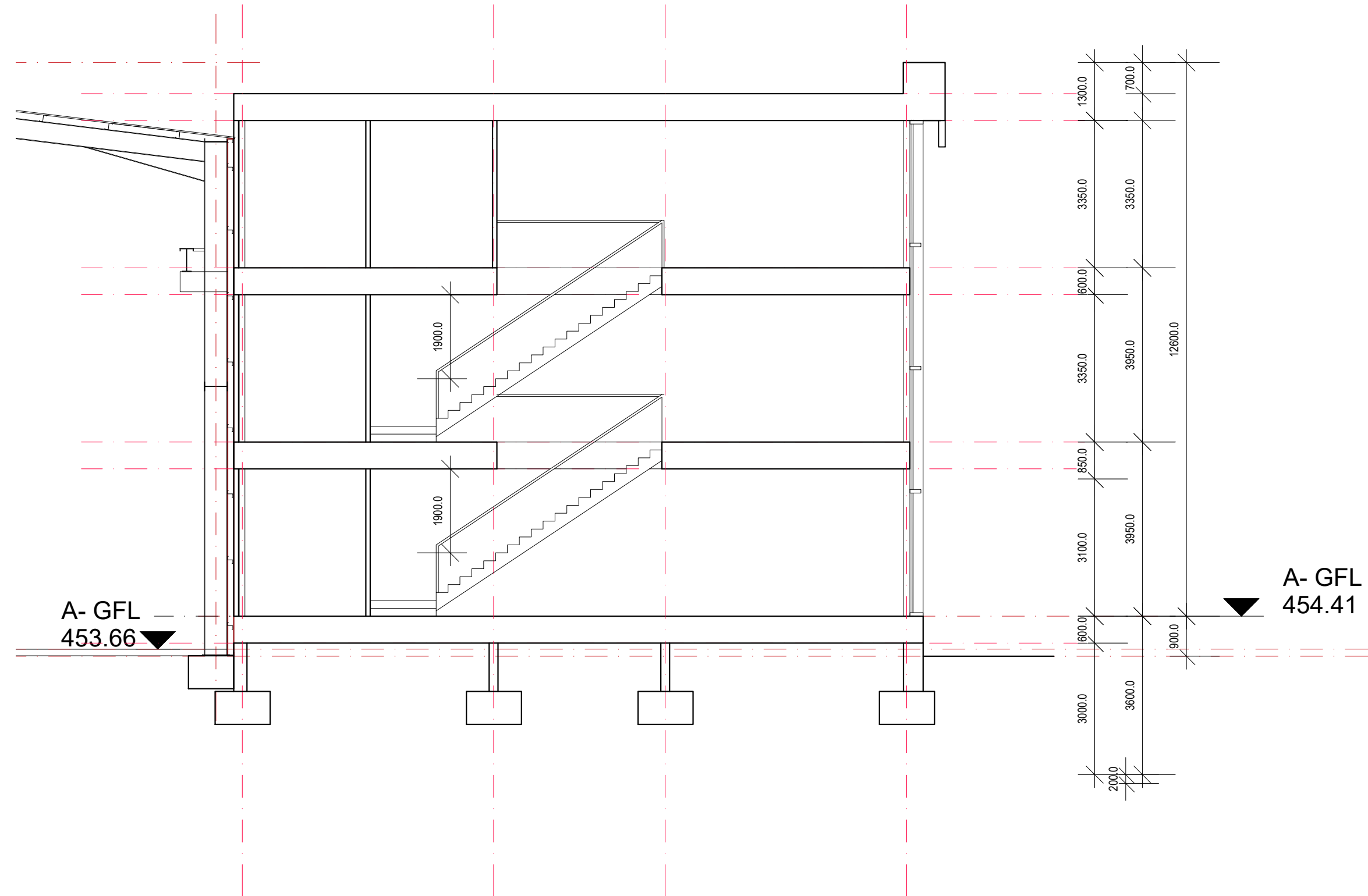


Client:	APOLLO FABRICATION GROUP Pty Ltd
Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young
Drawing:	PROPOSED SECTIONS

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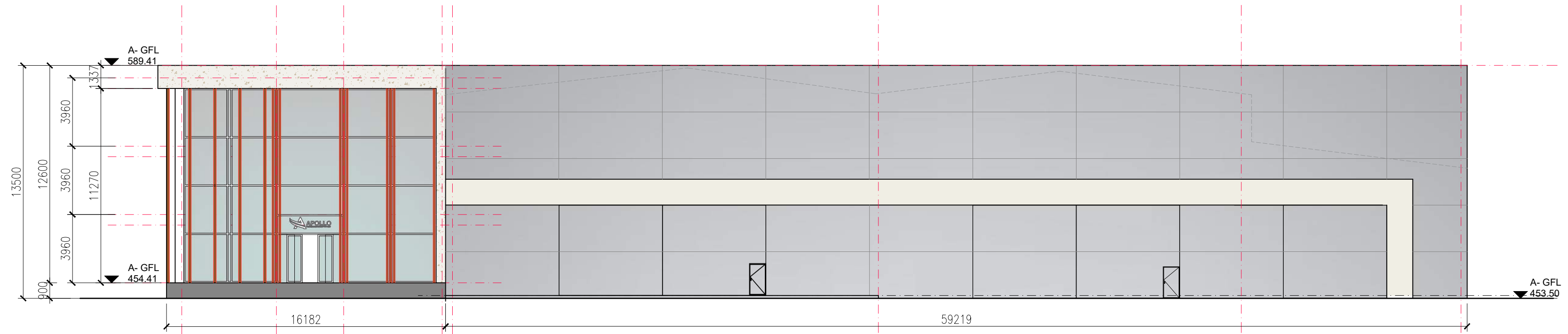
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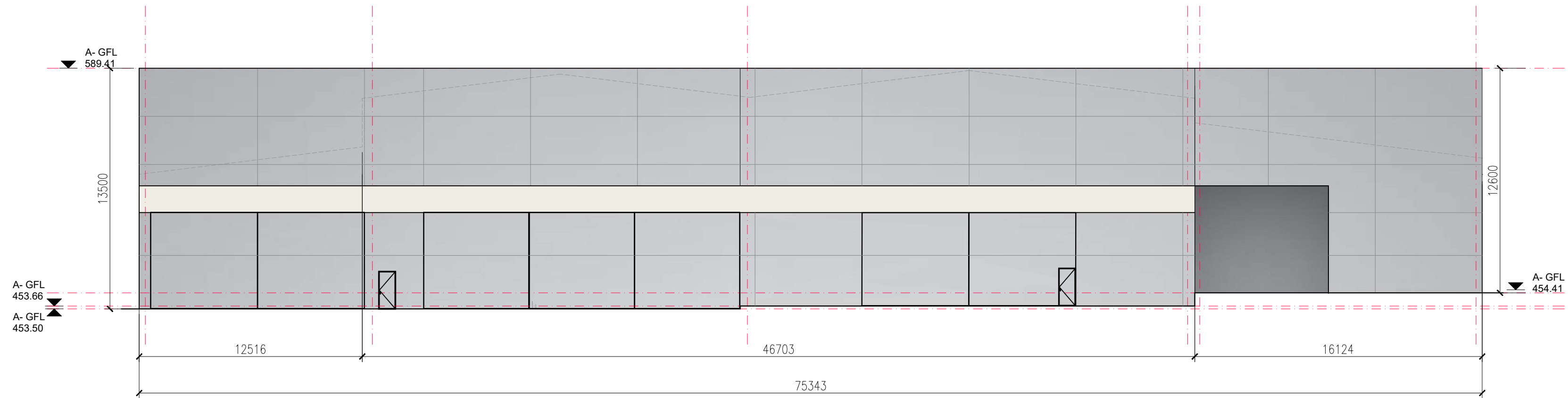
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Drawing:	PROPOSED SECTIONS	

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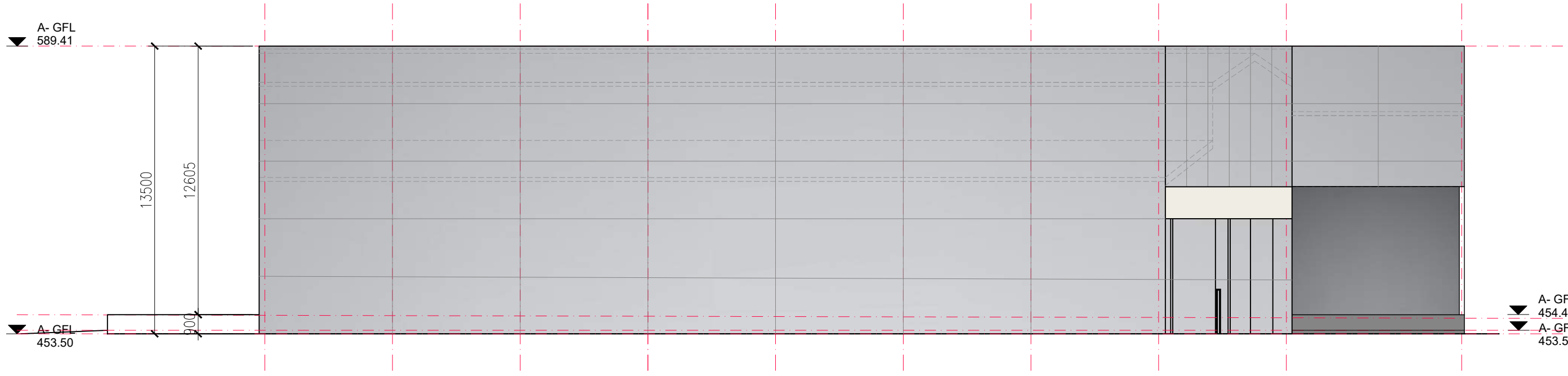


1 NORTH ELEVATION
SCALE= 1:200

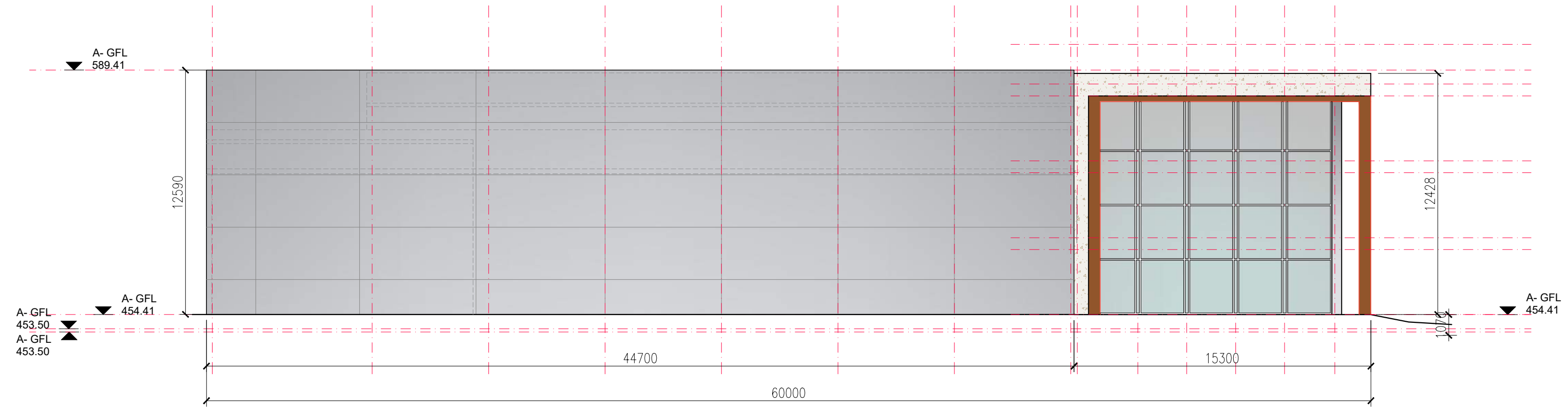


2 SOUTH ELEVATION
SCALE= 1:200


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-	-	-		Project: Workshop and Office building remodeling 10 - 12 Telegraph road, Young	No. in Set: 11		Sheet No.: A 1.9
-	-	-		Drawing: PROPOSED ELEVATIONS	Scale: 1 : 200		Revision No.:
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1 WEST ELEVATION
SCALE= 1:200



2 EAST ELEVATION
SCALE= 1:200

ISSUE	DATE	REASON FOR REVISION	<div> UNIQUE CAD EXPERIENCE</div>	Client: APOLLO FABRICATION GROUP Pty Ltd	Job Number:		©
-	-	-		Project: Workshop and Office building remodeling 10 - 12 Telegraph road, Young	No. in Set: 12	Sheet No.: A 1.10	
-	-	-		Drawing: PROPOSED ELEVATIONS	Scale: 1 : 200	Revision No.:	
-	-	-			Date: 10.05.2021	Revision Date.:	
-	-	-			Drawn: MG		
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ISSUE	DATE	REASON FOR REVISION
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Client:	APOLLO FABRICATION GROUP Pty Ltd
Project:	Workshop and Office building remodeling 10 - 12 Telegraph road, Young
Drawing:	RENDERINGS

Job Number:	No. in Set:	Sheet No.:
	13	A 1.11
Scale:	N/A	Revision No.:
Date:	10.05.2021	Revision Date:
Drawn:	MG	

