APOLLO FABRICATION GROUP Pty Ltd WORKSHOP AND OFFICE BUILDING REMODELING 10-12 Telegraph road, Young



PROJECT INFO

ADDRESS: AT LOT 3 and LOT 4 DP845187

Telegraph road, YOUNG, NSW, 2954

OWNER: APOLLO FABRICATION GROUP Pty Ltd

CONSTRUCTION INFORMATION

USE: WORKSHOP AND OFFICE BUILDING RENOVATION AND ADDITION

HEIGHT: TWO STORY WORKSHOP THREE STORY OFFICE BUIDLING

RIDGE H=13,500 m

APLICABLE CODES • Building Code of Australia

BUILDING AREA

- Lot size: 2231.1 m² + 2481.4 m² = 4712.5 m²
- Existing area:

••	Workshop 1	650 m²
••	Workshop 2	1191 m²
••	Workshop 3	885 m²
••	Workshop 4	720 m²
••	Office Building	223x3= 669 m ²
Tot	al:	4115 m ²

• Proposed percentage of floor area on the lot: 87,32 %

GENERAL NOTES:

- 1.IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING OR SPECIFICATIONS IN THIS PACKAGE NOTIFY THE ARCHITECT, IMMEDIATELY.
- 2.THE ARCHITECT, IS NOT RESPONSIBLE OR DO NOT HAVE CONTROL OR CHARGE OVER ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS OF THE CONTRACTOR. SUBCONTRACTOR. OR ANY OTHER PERSONS PERFORMING WORK ON THE PROJECT.
- 3. THE ARCHITECT, HAS NOT BEEN RETAINED FOR REVIEW, SUPERVISION OR ADMINISTRATION OF THE CONTRACT OR THE CERTIFICATION OF PAYMENTS CONSTRUCTION COORDINATOR SHALL BE OWNER'S REPRESENTATIVE DURING CONSTRUCTION & UNTIL FINAL PAYMENT HAS BEEN MADE. THE OWNER'S REPRESENTATIVE WILL REVIEW THE PROJECT & RENDER NECESSARY DECISIONS FOR THE PROGRESS OF THE WORK.
- 4.CONTRACTOR IS RESPONSIBLE TO SEE IF THE WORK IN THE FIELD IS DONE IN ACCORDANCE WITH ALL THE CURRENT APPLICABLE CODES, ORDINANCES & REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES, ORDINANCES, REQUIREMENTS, ETC.. ARE SPECIFICALLY SHOWN ON DRAWINGS AND/OR CALLED FOR IN SPECIFICATIONS.

- 5.CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS & FACILITIES TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE AT CONTRACTORS EXPENSE, ANY EXISTING ITEMS AND FACILITIES TO REMAIN THAT ARE DAMAGED BY CONTRACTOR'S OPERATIONS, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- 6.GENERAL CONTRACTOR SHALL COORDINATE THE DELIVERY OF ALL OWNER SUPPLIED EQUIPMENT. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION OF EQUIPMENT AT TIME OF DELIVERY AND SHALL NOTIFY EQUIPMENT SUPPLIER OF ANY DEFICIENCIES OR DAMAGED EQUIPMENT AND ARRANGE FOR REPLACEMENT.
- 7.CONTRACTOR SHALL COMPLY WITH ALL PERTINENT LAWS, CODES, REGULATIONS, GOVERNING AGENCIES & MANUFACTURER SPECIFICATIONS, UNLESS GREATER REQUIREMENTS ARE INDICATED, OR ARE NECESSARY FOR SAFE WORKING CONDITIONS.
- 8.THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING JURISDICTIONS AS REQUIRED FOR INSPECTIONS AND SHALL PAY INSPECTION FEES ASSOCIATED WITH THE WORK.
- 9.THE OWNER OR GENERAL CONTRACTOR SHALL APPLY, PAY FOR, AND OBTAIN ALL OTHER NECESSARY PFRMITS

ISSUE	DATE	REAS
•		
	•	•

10. THE GENERAL CONTRACTOR SHALL PROVIDE BARRICADES AND SAFETY SIGNS PER REQUIREMENTS.

11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROVISION OF A DEBRIS BOX AT REGULAR SERVICING, REMOVAL OF ALL CONTRACTOR/SUBCONTRACTOR REFUSE AND DEBRIS, AND SWEEPING OF ENTIRE YARD AREA AT THE COMPLETION OF WORK.

12. ALL PROCEDURES, TESTING, MATERIALS, SHOWN ON THE PLANS SHALL BE FURNISHED & INSTALLED BY THE GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE IN THESE PLANS FOUIPMENT OR MATERIAL NOTED ONLY AS "FURNISHED BY OTHERS" SHALL BE INSTALLED BY THE GENERAL CONTRACTOR.

SHEET	SHEET TITLE	DATE
A 1.0	STANDARD SPECIFICATION	10.05.2021
A 1.1	SITE PLAN- 2-20 TELEGRAPH ROAD	10.05.2021
A 1.2	SITE PLAN- 10-12 TELEGRAPH ROAD	10.05.2021
A 1.3	FLOOR PLAN- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.4	FLOOR PLAN- OFFICE BUILDING	10.05.2021
A 1.5	FLOOR PLAN- OFFICE BUILDING	10.05.2021
A 1.6	ROOF PLAN- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.7	SECTIONS- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.8	SECTION- OFFICE BUILDING	10.05.2021
A 1.9	ELEVATIONS- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.10	ELEVATIONS- WORKSHOP + OFFICE BUILDING	10.05.2021
A 1.11	RENDERINGS	10.05.2021

ASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job Number:				
		Device the		No. in Set:	4	Sheet No.:	- © /	/
		Project:	Workshop and Office building remodeling		1	A 0.0		
			Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale: N/A		Revision No.:		
	00	Drawing		Date: 10.05.2	2021	Revision Date.:	1 /	
	UNIQUE CAD EXPERIENCE	Drawing:	COVER PAGE	Drawn: MG				A2

STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVENT CURRENT AUSTRLIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT'
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7 ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8 SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9 PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 EARTHWORKS

- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2 COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT

3.0 CONCRETE

- 3.1 CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2 ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3 SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5 PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

3.6 TERMITE PROTECTION:

PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.

BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

4.0 BRICKWORK

- 4.1 BRICK WORK SHALL COMPLY WITH
 - AS 3700 MASONRY CODE AS A123 MASONRY CODE
 - MORTAR FOR MASONRY CONSRUCTION
- 4.2 BRICK GAUGE 7 STANDARD COURSES = 600mm.
- ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa 4.3 AND AS FOLLOWS:

EXTERNAL FACE WORK:	230x110x76mm
EXTERNAL RENDER:	305x162x90mm MAXIBRICK OR VERTICORE
WINDOW SILLS:	2c FACE BRICK SPLAYED SILLS
WINDOW HEADS:	SOLID FACEBRICK COURSE
INTERNAL WALLS:	305x162x90mm MAXIBRICK OR VERTICORE
	WITH BED JOINT AND PERPENDS FILLED
	305x76x90mm LONGREACH OR JUMBO FOR

COURSE ADJUSTMENT 4.4 MORTAR: 1:1:6 CEMENT:LIME:SAND MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED

- OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- ALL FACEWORK
- 4.9 12mm OR GREATER THAN 50mm.
- 4.10
- INTERNAL BRICKWORK TO BE PLASTERED.
- -WHEREVER SHOWN ON DRAWINGS.

7.3 DOWN PIPES SHALL MATCH EXISTING. 7.4 ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK. 7.5 ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF 7.6 FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH 7.7 SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS: AROUND ROOF PENETRATIONS ETC. 8.0 JOINERY 8.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH. 8.2 EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O. 8.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS. 9.0 CEILINGS 9.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK. 9.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE 9.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES. 9.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS. 10.0 PLASTERING 10.1 INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O. PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, 10.2 FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO CEMENT: LIME: SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER. INNER LEAF 2c ABOVE. SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS. 10.3 10.4 PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK FULL WIDTH OF EXTERAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 10.5 EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING) 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT 10.6 NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL INTO INNER LEAF 1c ABOVE. NOT BE FLUSHED UP WITH FRAMES. 10.7 PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR FULL HIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD JOINS ONTO CONCRETE WORK. FLASHING AT EACH END. 11.0 GLAZING 11.1 CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS. WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS. 12.0 FLOORING FINISHES 12.1 CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED BEARING UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: ACH END (mm) **REFER TO DRAWINGS & FINISHES SCHEDULE** 150 12.2 PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS 150 ANGLE TRIMS, ETC.TO COMPLETE THE WORKS: 150 REFER TO DRAWINGS & FINISHES SCHEDULE. 230 12.3 PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, 230 DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & 230 POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE. 230 230 13.0 SIGNAGE WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT 13.1 AND TO LETTERBOXES AS SCHEDULED. 13.2 "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS. 14.0 PAVING 14.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS. 14.3 CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS 14.4 PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY, TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR. 14.5 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS. 14.6 PAVING PATTERN: REFER TO ADDENDUM. 14 7 BRICK PAVERS SHALL BE: TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE ASON F

VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.

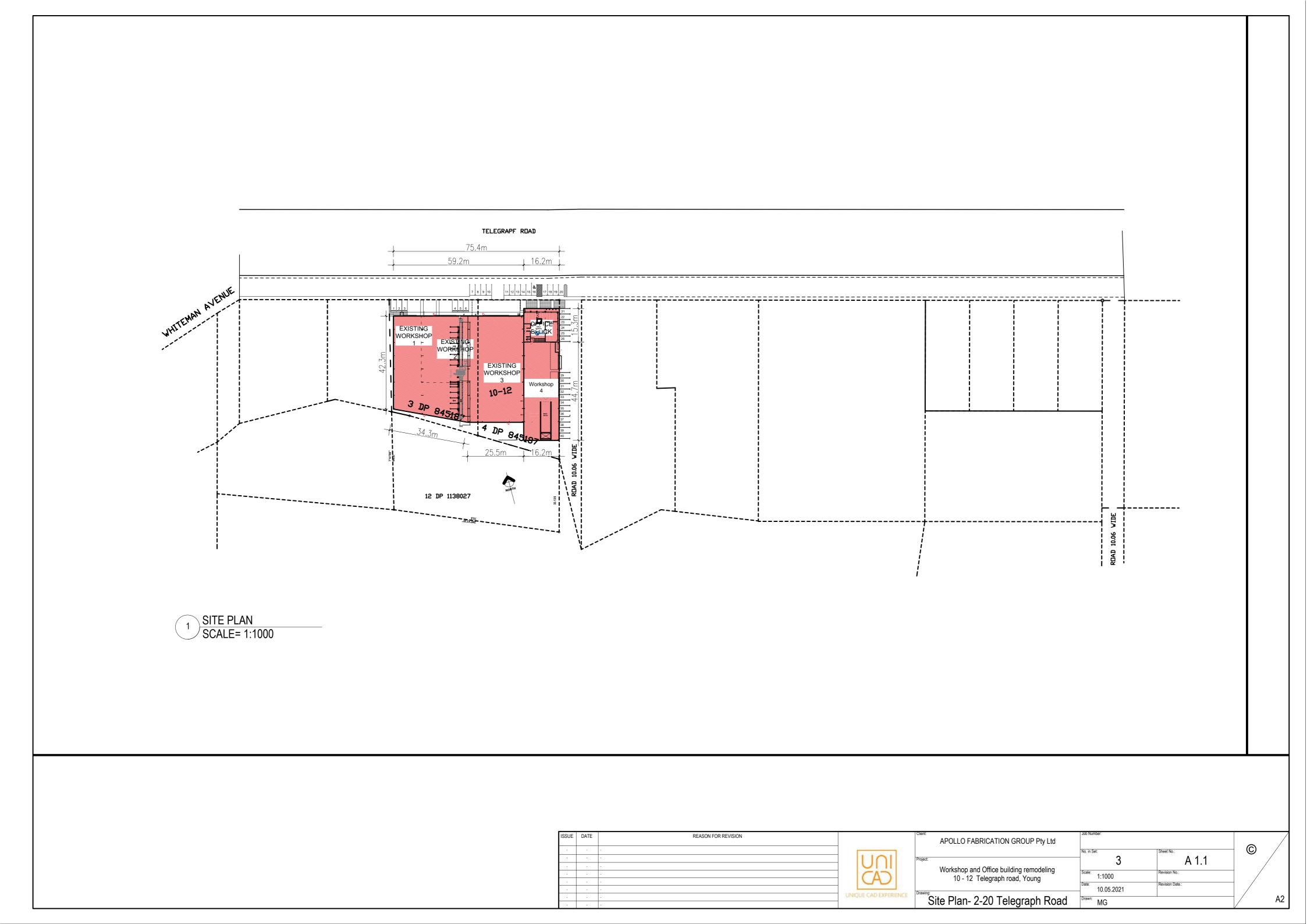
MAX SPAN	LINTELS SIZE	BI
(mm)	(VERT x HORIZ x THICK)	EA
900	75x10	
1200	75x75x8	
1500	90x90x8	
1800	100x75x8	2
2100	125x75x8	2
2400	125x75x10	2
2500	100x100x8	2
3000	150x90x10	2

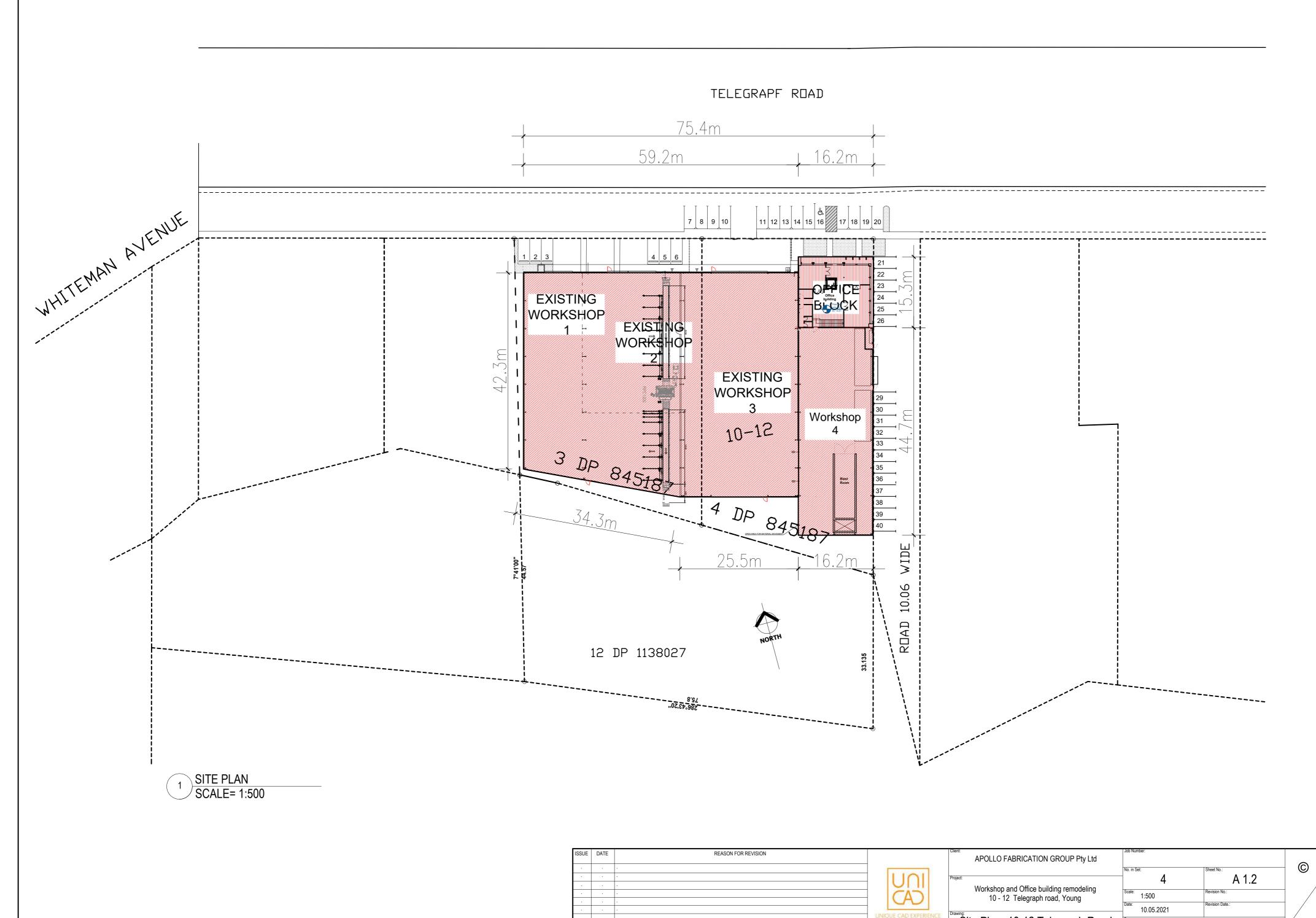
4.5 TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP. 4.6 KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY 4.7 FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 4.8 PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPANDICULAR WALL WITH A MARGIN OF MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING. 4.11 PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND 4.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING. 4.13 BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS: -CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.) -OVER LINTELS TO EXPOSED OPENINGS: -OVFR ROOF -DOOR / WINDOW STILES: -STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY: -AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE. 4 14 I INTELS 5.0 CARPENTRY WORK ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING 5.1 CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP. REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS. SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS. 6.0 METALWORK ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT. CLOTHES HOIST: REFER TO ADDENDUM. 7.0 ROOFING 7.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES 7.2 GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.

- 6.1 6.2
- 6.3

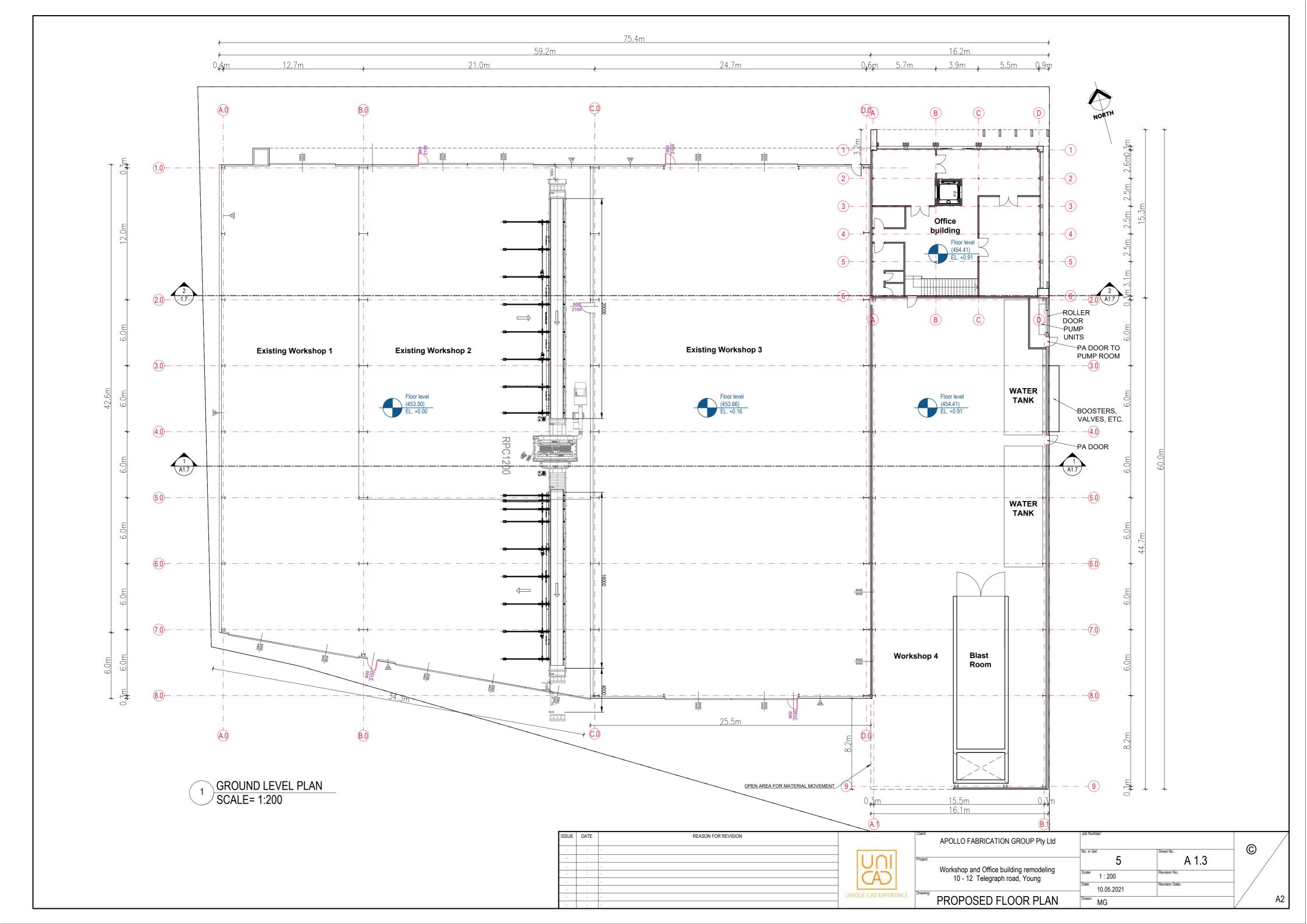
	ISSUE	DATE	REA
	•	•	
	•	•	
	•		
			•
	•		
_			

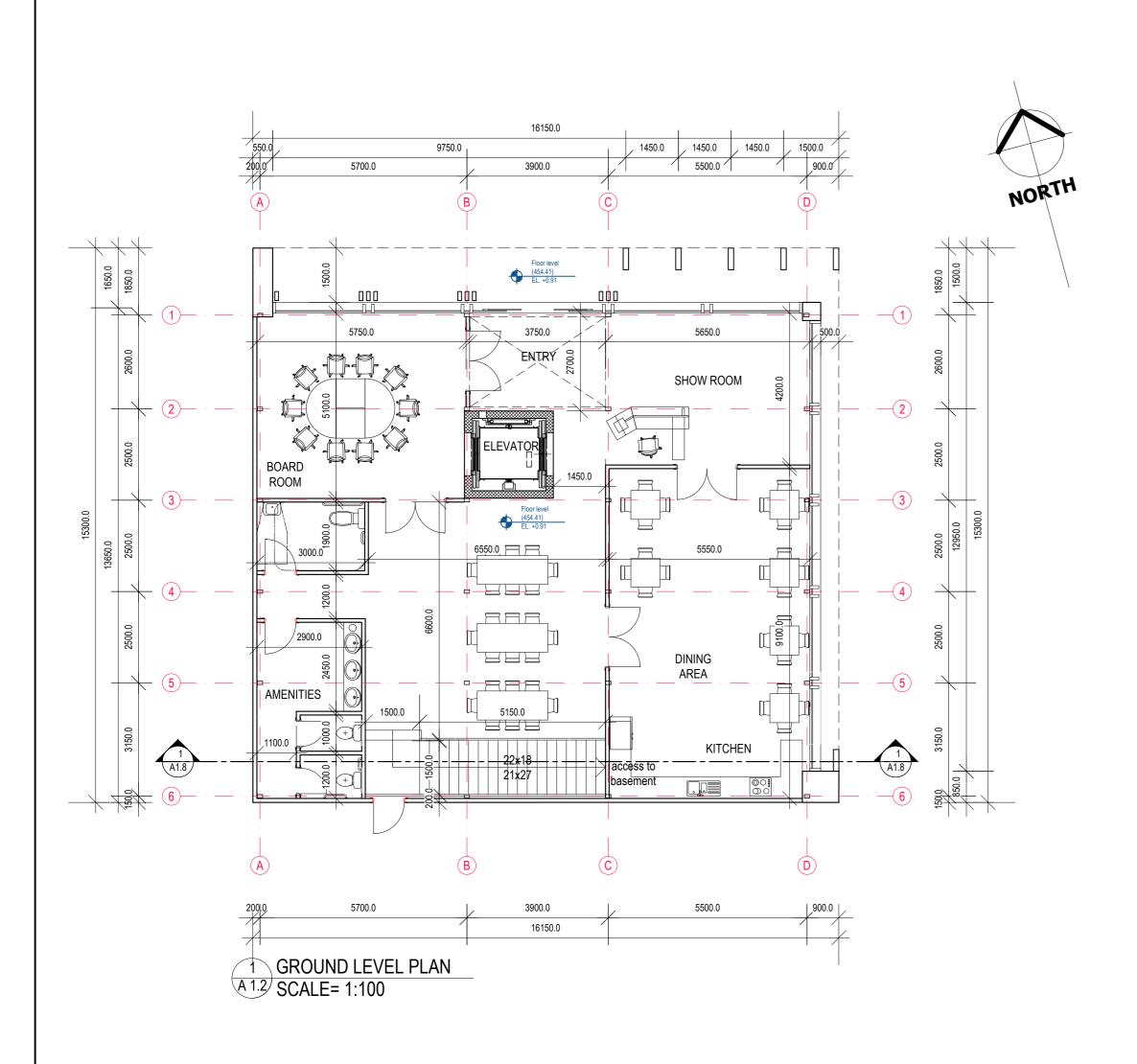
OR REVISION		onone.	APOLLO FABRICATION GROUP Pty Ltd				
				No. in Set:	Sheet No.:	©	
	Proj	Project:		2	A 1.0		
			Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale: N/A	Revision No.:	1 /	
	UNIQUE CAD EXPERIENCE			Date: 10.05.2021	Revision Date .:	1 /	
		Drawing:	SPECIFICATION	Drawn: MG			A2



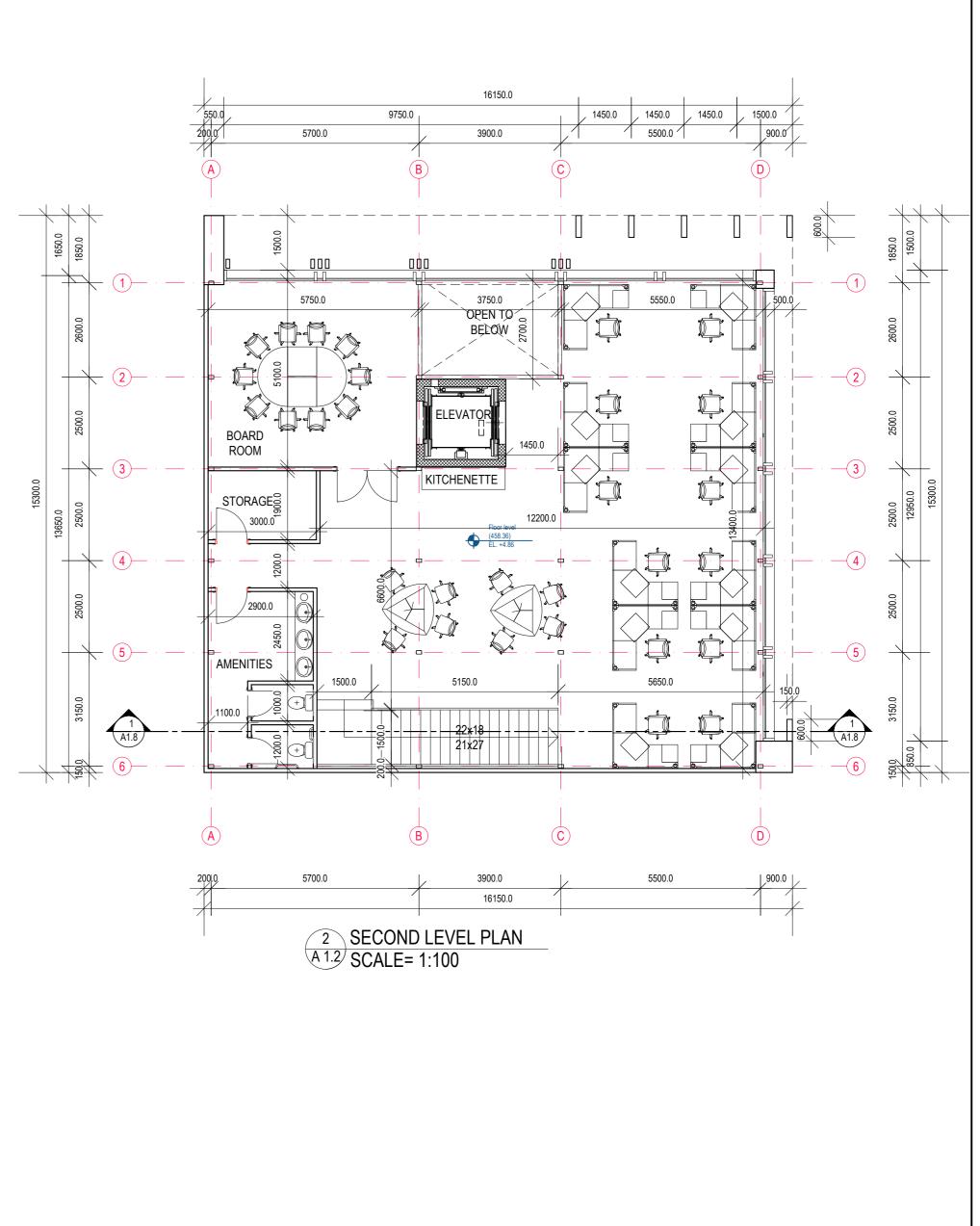


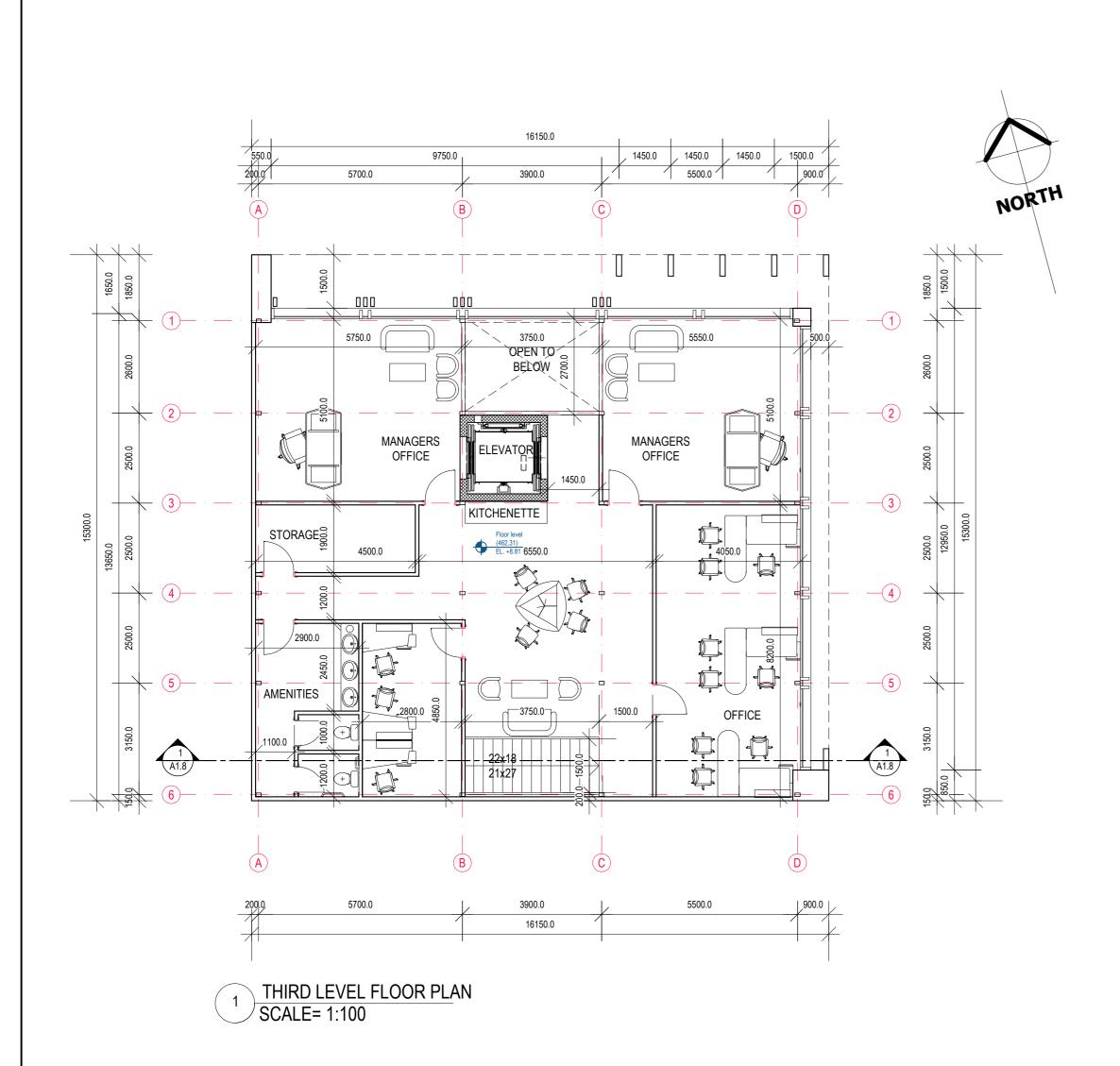
ASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job Nur	mber:			
				No. in S	et:	Sheet No.:	C	
	Uni	Project:	Warkshap and Office building remodeling		4	A 1.2		
			Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale:	1:500	Revision No.:		
	00			Date:	10.05.2021	Revision Date .:	1 /	
	UNIQUE CAD EXPERIENCE	Drawing:	te Plan- 10-12 Telegraph Road	Drawn:	MG			A2



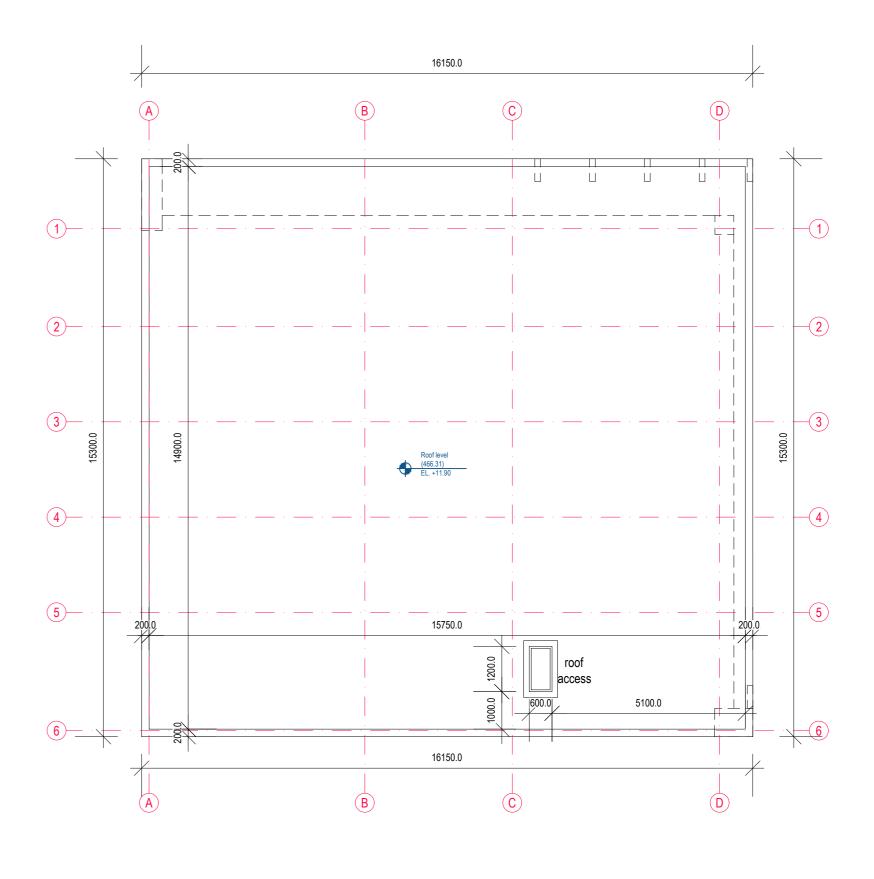


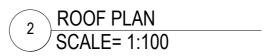
DATE	REASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job Number:				
•			D : (No. in Set:	0	Sheet No.:	C	
		Uni	Project:	Workshop and Office building remodeling		6	A 1.4		
					Scale: 1	: 100	Revision No.:] /	
	•				Date: 10	.05.2021	Revision Date .:	1 /	
		UNIQUE CAD EXPERIENCE	Drawing:	PROPOSED FLOOR PLAN	Drown			$\left \right $	A2
	DATE	DATE REASON FOR REVISION · · · · · · · · · · · · · · · · · · · · · · · · · · · ·		· ·	APOLLO FABRICATION GROUP Pty Ltd Training: Drawing: Drawing:	DATE REASON FOR REVISION APOLLO FABRICATION GROUP Pty Ltd No. in Set: ·	DATE REASON FOR REVISION APOLLO FABRICATION GROUP Pty Ltd No. in Set: ·	DATE REASON FOR REVISION · ·	DATE REASON FOR REVISION · ·

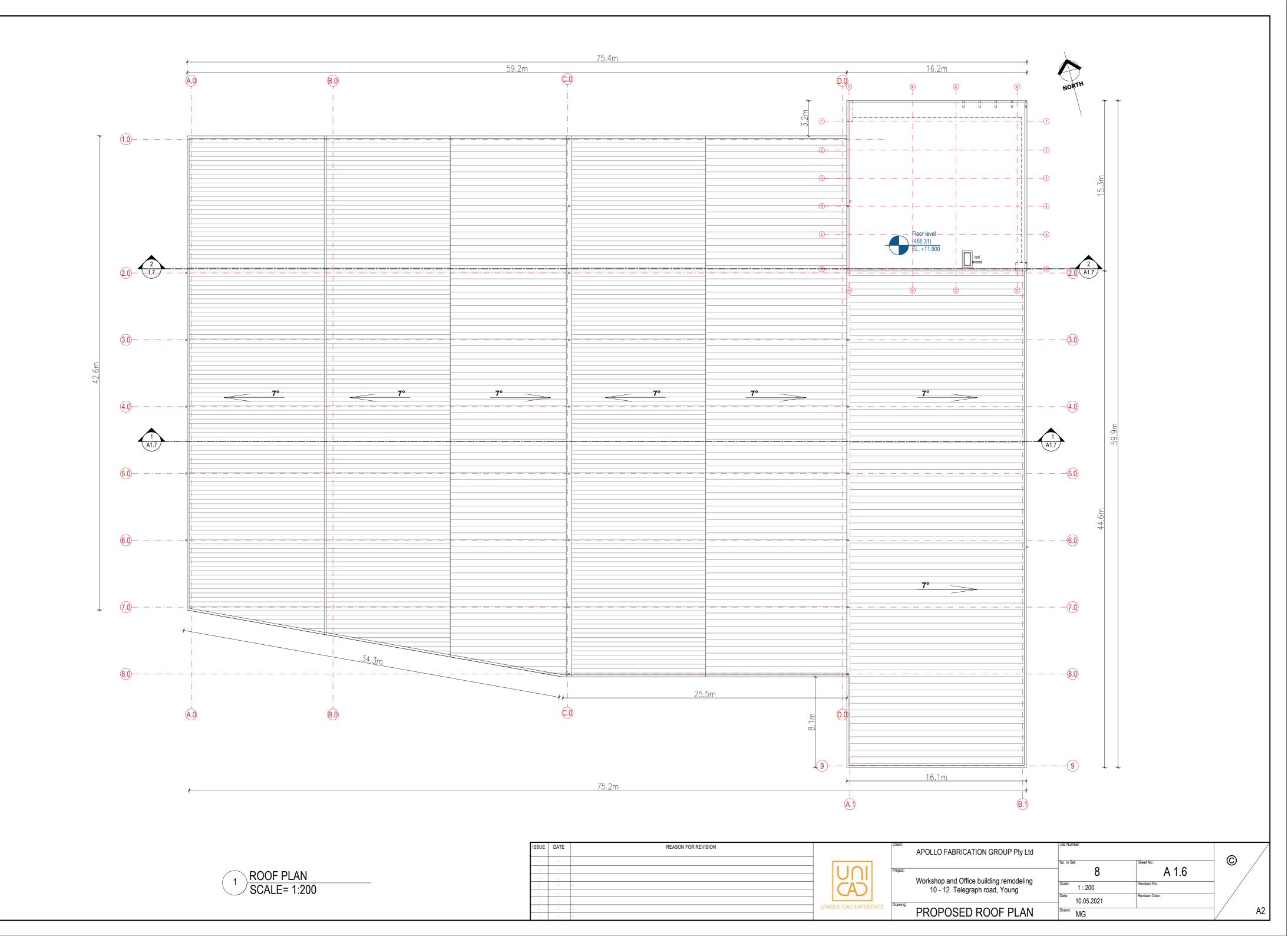


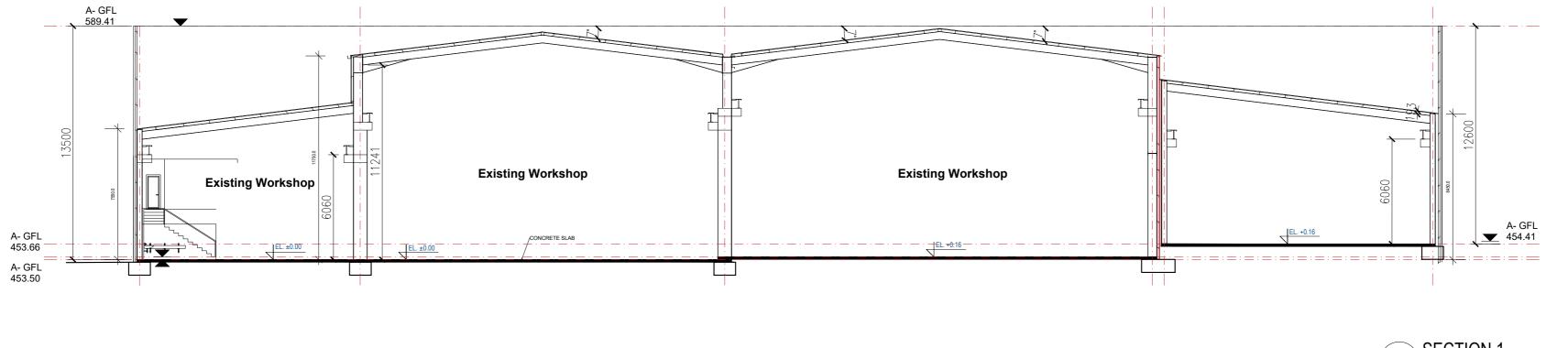


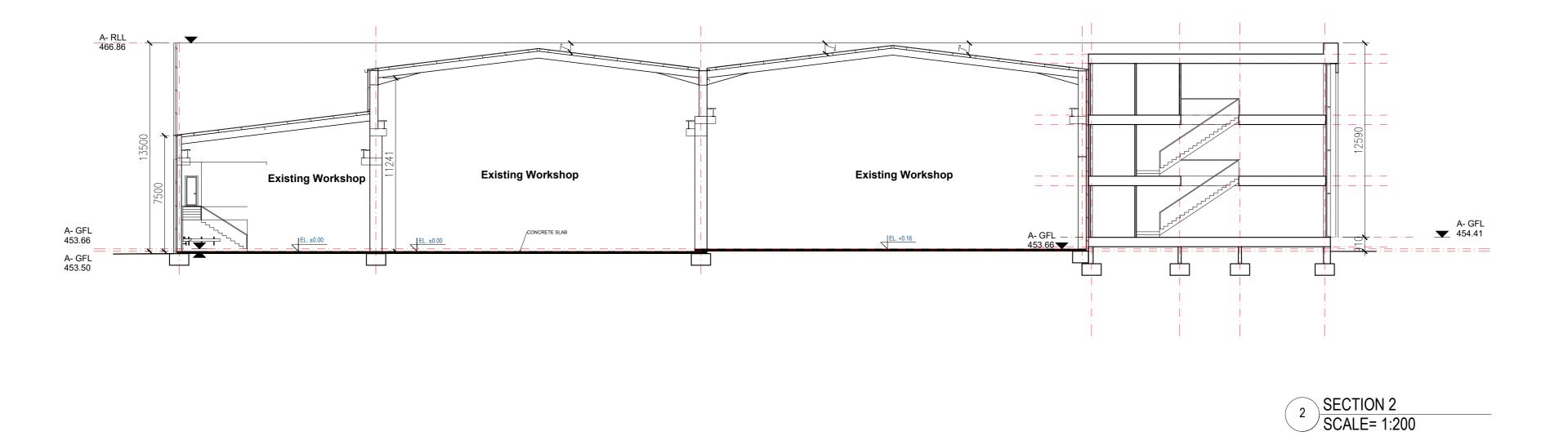
ISSUE	DATE	REASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job 1	Number:			/
•	•	•		Project:		No. ir	n Set: 7	Sheet No.: A 1.5	© –	
	· ·	· · ·			Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale	^{e.} 1 : 100	Revision No.: Revision Date.:		/
· ·	· ·		UNIQUE CAD EXPERIENCE	Drawing:	PROPOSED FLOOR PLAN	Draw	10.05.2021 ^{n:} MG			A2







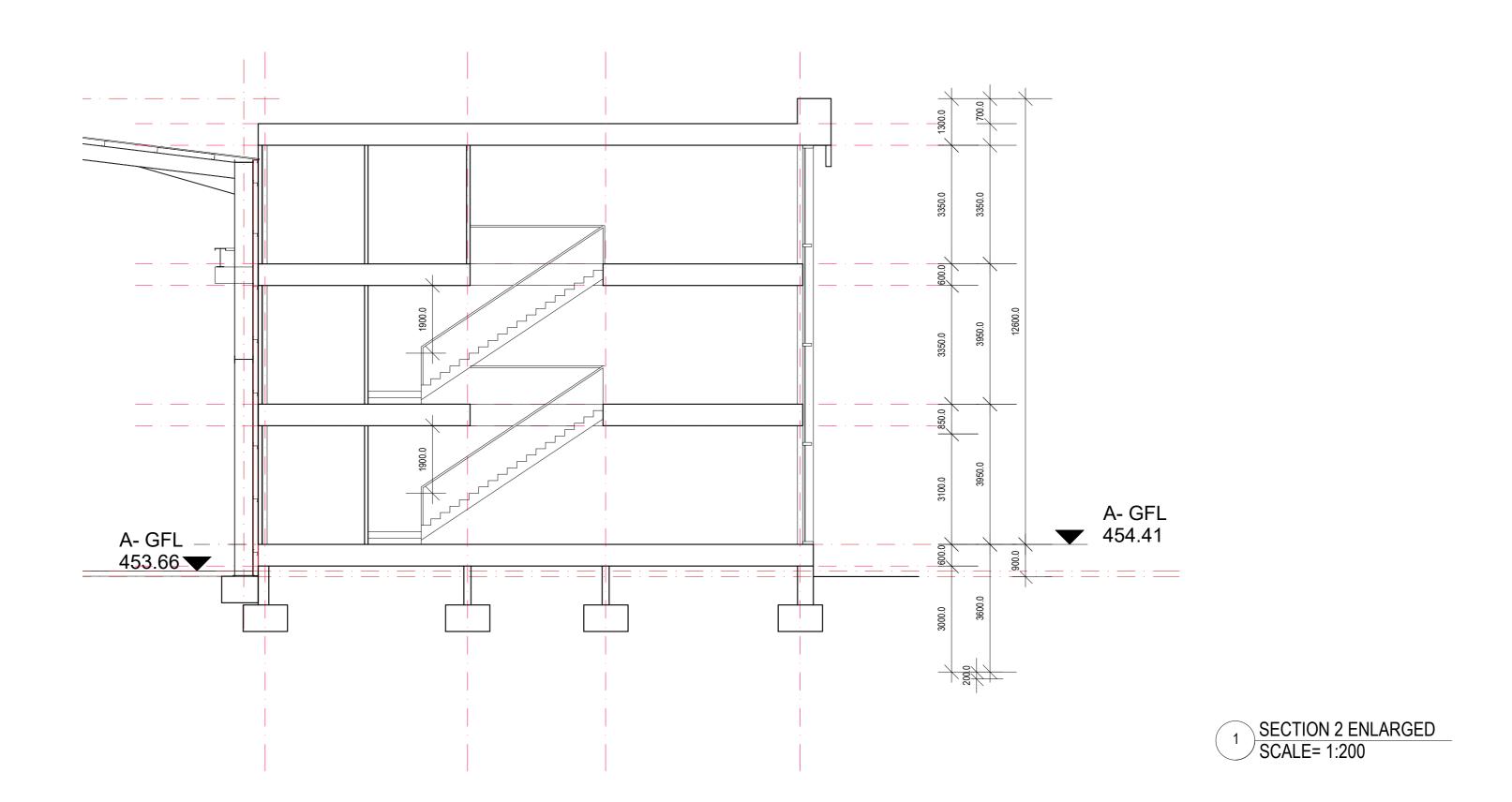




ISSUE	DATE	REAS
•		
•	•	



SON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job Nu	imber:			
	LICI			No. in S	Set:	Sheet No.:	C	
	Uni	Project:	Workshop and Office building remodeling		9	A 1.7		
	CAD		Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale:	1 : 200	Revision No.:] /	
		Drawing:		Date:	10.05.2021	Revision Date.:	1 /	
	UNIQUE CAD EXPERIENCE	brannig.	PROPOSED SECTIONS	Drawn:	MG			A2

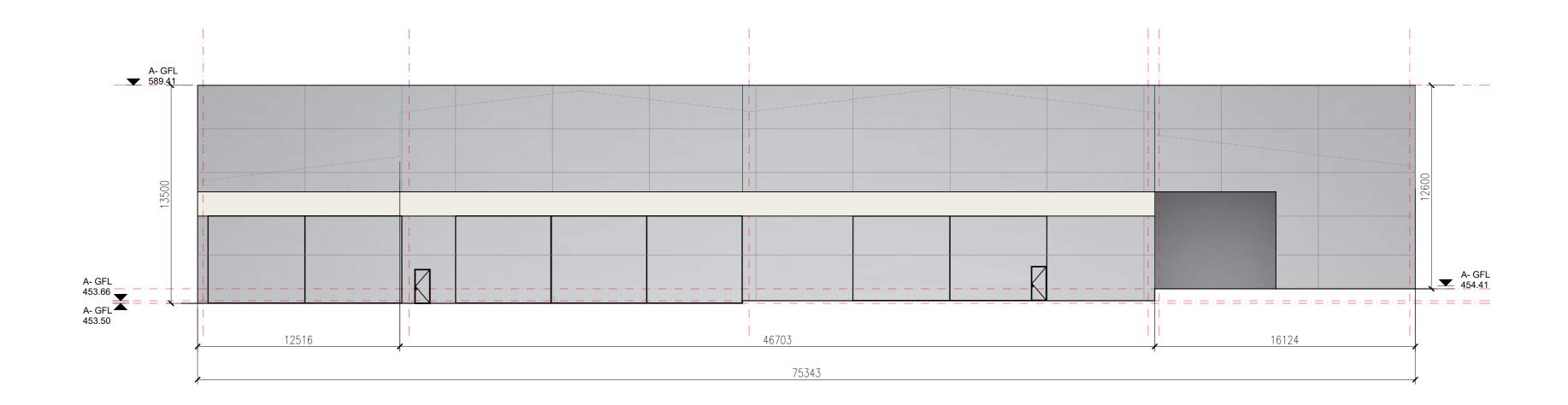


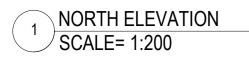
ISSUE	DATE	REAS
•	•	
•		
•		

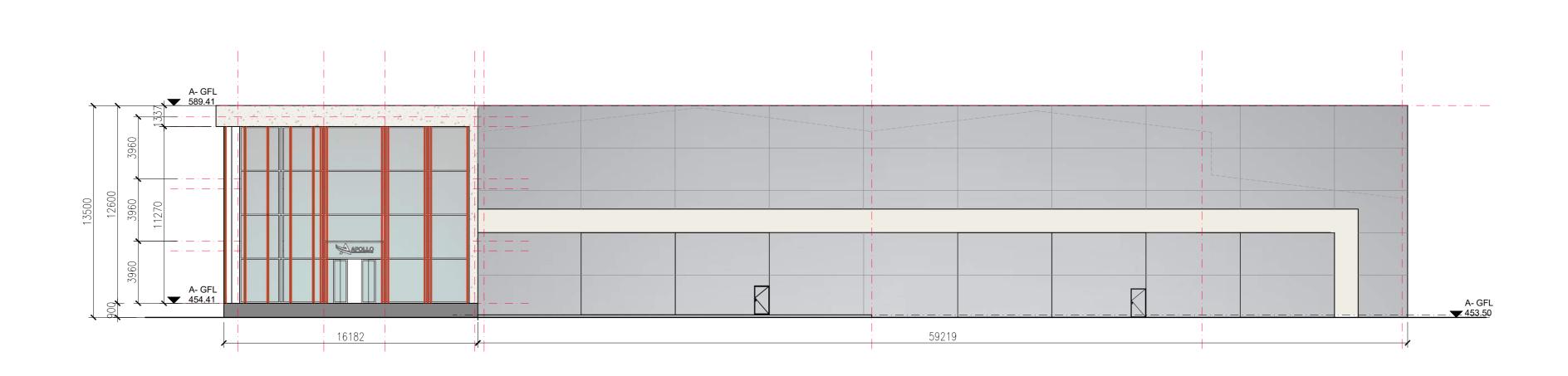
REASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job N	umber:			
		Project:		No. in	^{Set:} 10	Sheet No.: A 1.8	- ©	
	ČAĎ		Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale Date:	1 : 200	Revision No.: Revision Date.:		
	UNIQUE CAD EXPERIENCE	Drawing:	PROPOSED SECTIONS	Drawr				A2

RE	DATE	ISSUE
	•	•
	•	
	•	
	•	

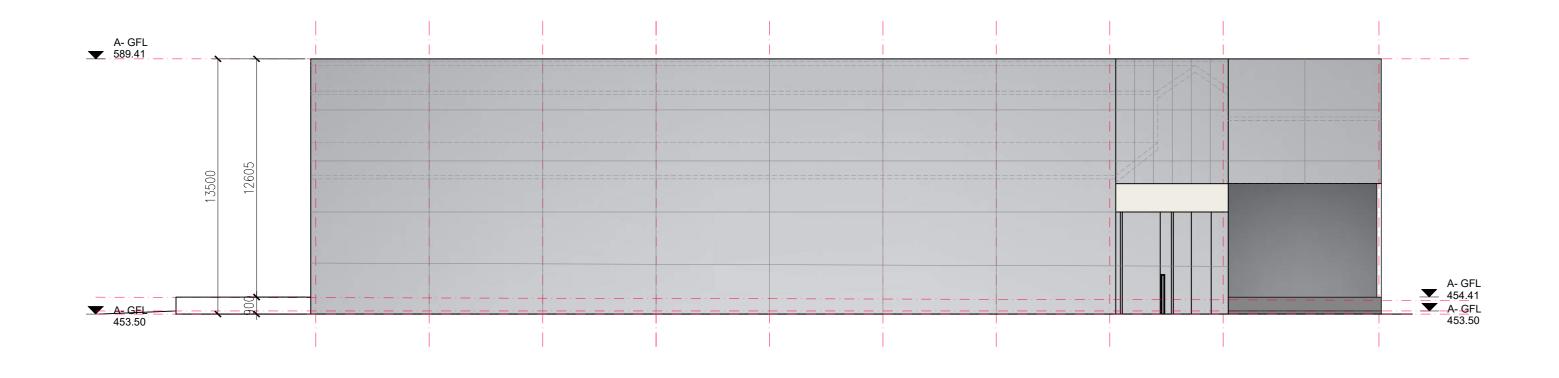
2 SOUTH ELEVATION SCALE= 1:200

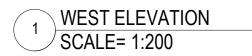


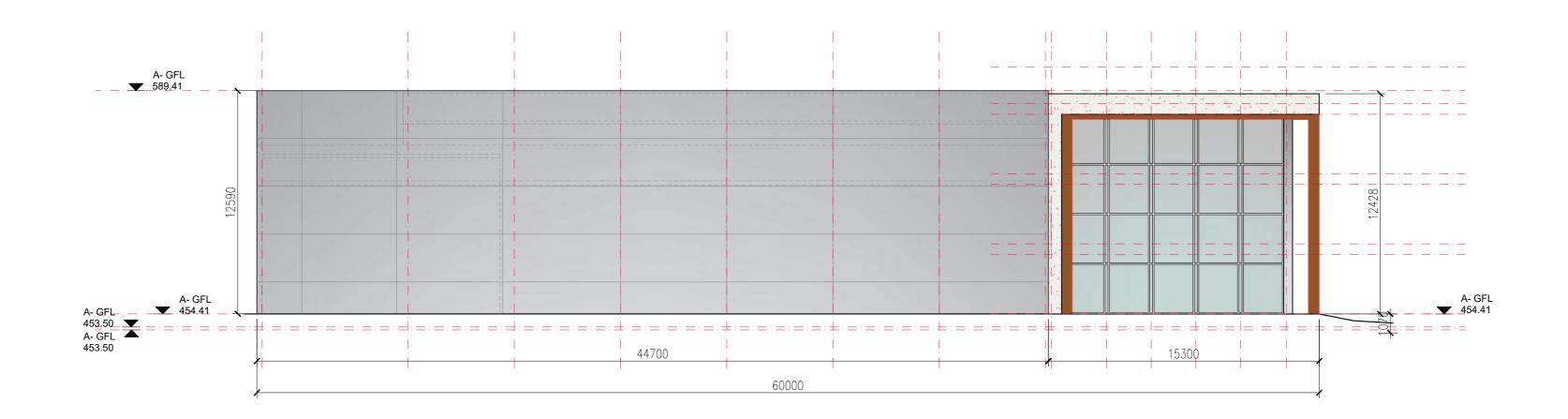


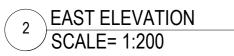


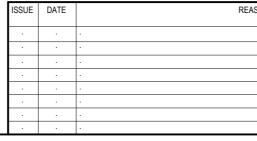
REASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job Nu	imber:			
	CAD	Project:		No. in S	Set: 11	Sheet No.: A 1.9	© _	
			Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale:	1 : 200	Revision No.:	- /	
		Drawing:		Date:	10.05.2021	Revision Date.:		
		INCE Draming.	PROPOSED ELEVATIONS	Drawn:	MG	1		A2











REASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job	Number:			/	
	UNI	Project:		No.	in Set: 12	Sheet No.: A 1.10	- ©		
	CAD	Project))	Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scal	^{le:} 1 : 200 ^{a:} 10.05.2021	Revision No.: Revision Date.:	$\left \right\rangle$,
	UNIQUE CAD EXPERIENCE	Drawing:	PROPOSED ELEVATIONS	Drav				A2	







ISSU	E DATE	REASON FOR REVISION		Client:	APOLLO FABRICATION GROUP Pty Ltd	Job Number:				
·			[LIQ]			No. in Set:	Sheet No.:	• • • •	©	
· ·				Project:	Madulation and Office building sourced lines	· ·	13	A 1.11		/
•					Workshop and Office building remodeling 10 - 12 Telegraph road, Young	Scale: N/A	Revision No).:	1	
<u>⊢</u> ÷						Date: 10.05.2	Revision Da	te.:		
·			UNIQUE CAD EXPERIENCE	Drawing:	RENDERINGS	Drown:			- /	A2
					INLINDER/11000	MG				



